



**LAKEWOOD VILLAGE TOWN HALL  
100 HIGHRIDGE DRIVE  
LAKEWOOD VILLAGE, TEXAS  
TOWN COUNCIL MEETING  
SEPTEMBER 21, 2021 7:00 P.M.**

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**SPECIAL SESSION – AGENDA**

Call to Order and Announce a Quorum is Present

**A. PLEDGE TO THE FLAG:**

**B. VISITOR/CITIZENS FORUM:** Pursuant to Texas Government code 551.007 (adopted in 2019): A governmental body shall allow each member of the public who desires to address the body regarding an item on an agenda for an open meeting of the body to address the body regarding the item at the meeting before or during the body's consideration of the item. A person who addresses the Council concerning an agenda item, including a Public Hearing, must limit his/her remarks to the specific subject matter being considered by the Council under that agenda item.

**C. PUBLIC HEARING** – A public hearing is scheduled on the proposed combined property tax rate of \$0.45/\$100 to provide an opportunity for citizen comment.

**D. REGULAR AGENDA:**

1. Consideration of Variance for 404 Green Meadow Roof Pitch (Vargus)
2. Consideration of Ordinance Adopting the 2021-2022 Property Tax Rate of \$0.45/\$100 (Ruth)
3. Consider and discuss all matters incident and related to declaring expectation to reimburse expenditures with proceeds of future debt, including the adoption of a resolution pertaining thereto (Vargus)
4. Consideration of CO/CSI Inspection Ordinance (Vargus)
5. Discussion of Construction of Athletic Fields (Farage)
6. Consideration of Engagement of Nabors CPA Services for Annual Audit Services (Vargus)
7. Discussion of Concrete Road Project (Vargus)

**E. EXECUTIVE SESSION:** – In accordance with Texas Government Code, Section 551.001, et seq., the Town Council will recess into Executive Session (closed meeting) to discuss the following:

1. § 551.071(2), Texas Government Code to wit: consultation with Town Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter to receive legal advice re: Development agreements, development and zoning standards; and
2. § 551.087 Texas Government Code to wit: Economic Development Negotiations regarding First Texas Homes, Sanctuary at Sunset Cove, Project Left Field, Project Slade Rock, Project Lakewood Village Partners; and
3. § 551.072 Texas Government Code to wit: deliberations about real property regarding First Texas Homes, Sanctuary at Sunset Cove, Project Left Field, Project Slade Rock, Project Lakewood Village Partners.

**F. RECONVENE:** Reconvene into regular session and consideration of action, if any, on items discussed in executive session.

**LAKEWOOD VILLAGE TOWN COUNCIL  
SPECIAL AGENDA  
SEPTEMBER 21, 2021**

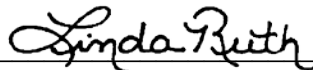
**Page 2 of 2**

**G. REGULAR AGENDA:**

8. Consider and act to upon a resolution approving and authorizing the Mayor to execute a Development Agreement by and between the Town of Lakewood Village and The Sanctuary, LLC, in connection with the Lakewood Village Public Improvement District No. 1. (Vargus)

**H. ADJOURNMENT**

I do hereby certify that the above notice of meeting was posted on the designated place for official notice at 3:15 p.m. on Friday, September 17, 2021.



Linda Ruth, TRMC, CMC  
Town Administrator/Town Secretary



The Town Council reserves the right to adjourn into closed session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices) and 551.087 (Economic Development), 418.183 (Homeland Security)

This facility is wheelchair accessible and accessible parking spaces are available. Please contact the Town Secretary's office at 972-294-5555 or FAX 972-292-0812 for further information.

One or more board members of the LAKEWOOD VILLAGE MUNICIPAL DEVELOPMENT DISTRICT may attend this meeting. No action will be taken by the MDD board.



## VARIANCE REQUEST

100 Highridge Drive  
Lakewood Village, TX 75068  
(972) 294-5555 Office  
[linda@lakewoodvillagetx.us](mailto:linda@lakewoodvillagetx.us)

### BUILDING DEPARTMENT

REVISED: 10/09/2014

#### APPLICANT / OWNER

|                                                                          |                                       |
|--------------------------------------------------------------------------|---------------------------------------|
| Applicant Name<br><b>Andrew and Meggie Le Shea</b>                       | Address<br><b>1013 Excalibur Blvd</b> |
| Day Time Telephone<br><b>214-476-8287</b>                                | <b>Lewisville ,TX 75056</b>           |
| Email<br><b>rugtown@yahoo.com</b>                                        |                                       |
| Owner Name<br>Same as Applicant? <input checked="" type="checkbox"/> Yes | Address                               |
| Day Time Telephone                                                       |                                       |
| Email                                                                    |                                       |

#### PROPERTY

|                                                                                                               |                                            |
|---------------------------------------------------------------------------------------------------------------|--------------------------------------------|
| Address or General Location<br><b>404 Green Meadow Lakewood Village, Texas</b>                                |                                            |
| Legal Description (If Platted)<br><b>See attached Final Plat</b>                                              |                                            |
| Lot Size<br><input type="checkbox"/> Square Feet OR <input checked="" type="checkbox"/> Acres<br><b>4.000</b> | Zoning Classification<br><b>District 4</b> |
| Existing Use of Land and/or Building(s)<br><b>Undeveloped</b>                                                 |                                            |

#### REQUESTED VARIANCE

|                                                                                                                                                                                                                                                                        |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Variance to Section(s) of the Ordinance<br><b>4.3.8, B, Single Family - Roof Pitch</b>                                                                                                                                                                                 |
| Current Ordinance Requirement(s)<br><b>All roof pitches shall have a minimum rise of six (6) inches over twelve (12) inches of run. For two story houses, roofs over entryways may be reduced to two (2) over twelve (12) pitch with the approval of the director.</b> |
| Requested Variance(s)<br><b>Allow a 4:12 standing seam metal roof with lower sloped roofs at overhangs and areas required to facilitate positive roof drainage.</b>                                                                                                    |





## BUILDING DEPARTMENT

# VARIANCE REQUEST

100 Highridge Drive  
Lakewood Village, TX 75068  
(972) 294-5555 Office  
[linda@lakewoodvillagetx.us](mailto:linda@lakewoodvillagetx.us)

REVISED: 10/09/2014

### SUBMITTAL REQUIREMENTS

If the applicant is not the owner, a letter signed and dated by the owner certifying their ownership of the property and the authorizing the applicant to represent the person, organization, or business that owns the property.

If not platted, a metes and bounds legal description of the property.

A written statement documenting the reason for the variance(s), including evidence that the request complies with the following criteria as required for approval of a variance.

- 1) A unique physical condition exists within or adjacent to the subject tract or structure(s) located thereon which distinguishes it from other similarly situated, and which creates an exceptional hardship, difficulty, or inequity that would result from literal enforcement of the ordinance;
- 2) The condition or characteristic noted above is not caused by an action of the property owner, occupant, or applicant;
- 3) The variance is the minimum amount necessary to allow a reasonable use of the property;
- 4) The sole reason for the variance is not a desire of the owner, occupant, or applicant for increased financial gain or reduced financial hardship;
- 5) The variance will not adversely affect public health or safety, and will not substantially or permanently interfere with the appropriate use of adjacent conforming property in the same district; and,
- 6) The variance will not alter the essential character of the zoning district within which the subject property is located, and is in harmony with the intent and purposes of the zoning ordinance.

Site plan, submitted on drawing sheet size 11" X 17", showing:

- 1) Scale and north arrow;
- 2) Location of site with respect to streets and adjacent properties;
- 3) Property lines and dimensions;
- 4) Location and dimensions of buildings;
- 5) Building setback distances from property lines;
- 6) Location, dimensions, and surface type of off-street parking spaces and loading areas; and
- 7) Any other proposed features of the site which are applicable to the requested variance.

### NOTICE

To the best of my knowledge, this application and associated documents are complete and correct, and it is understood that I or another representative should be present at all public meetings concerning this application.

Applicant Signature

*[Handwritten Signature]* Shear

Date

9-17-2021





**BUILDING DEPARTMENT**

**VARIANCE REQUEST**

100 Highridge Drive  
Lakewood Village, TX 75068  
(972) 294-5555 Office  
[linda@lakewoodvillagetx.us](mailto:linda@lakewoodvillagetx.us)

REVISED: 10/09/2014

**TOWN USE ONLY**

Received By

Receipt Number

Date Submitted

Case Number

Date Notices Mailed

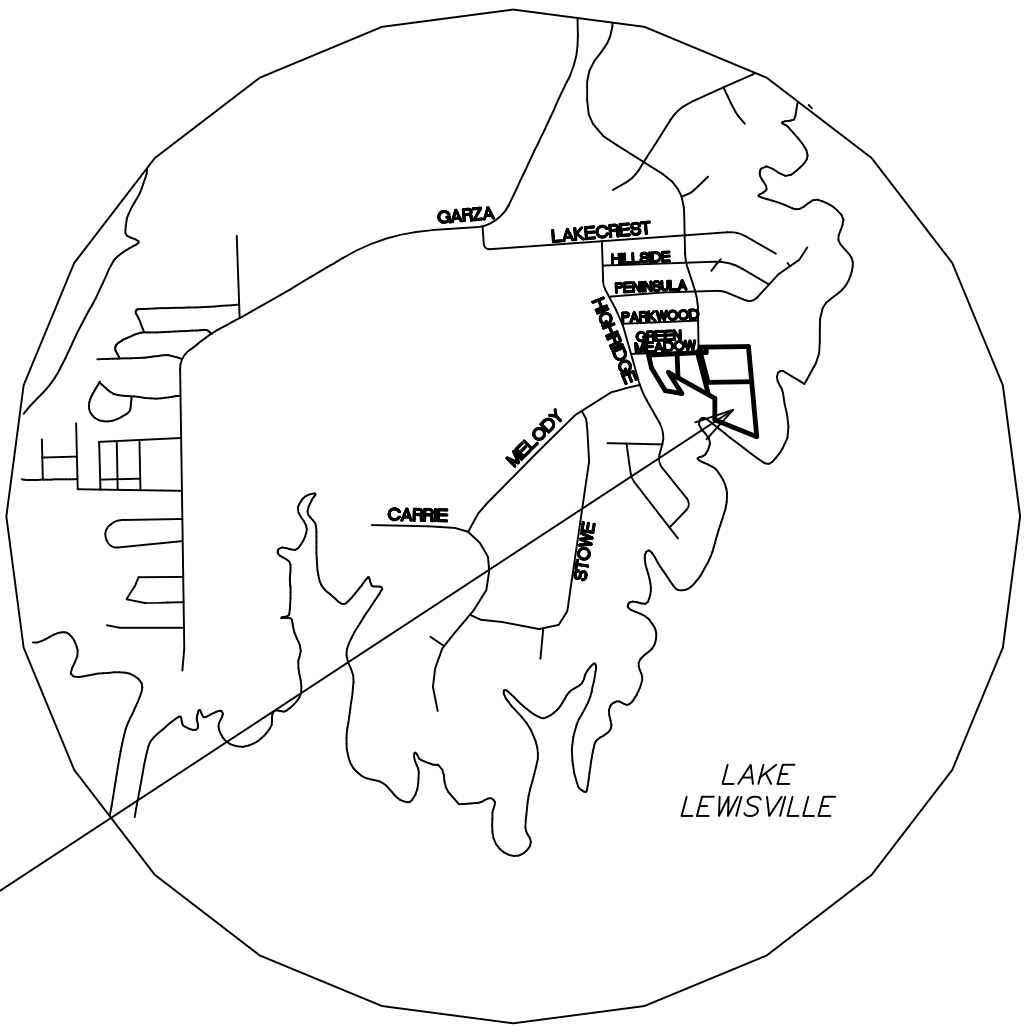
Date Notice Published

Town Council Meeting Date

Decision

Conditions

PROJECT LOCATION



VICINITY MAP  
SCALE 1" = 2000'



Basis of Bearing is the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983, as determined from GPS observations.

NOTE: PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE, THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.

LEGEND  
B.L. = BUILDING LINE  
D.E. = DRAINAGE EASEMENT  
F.I.R. = FOUND IRON ROD  
S.I.R. = SET CAPPED 1/2" RPLS 4561 IRON ROD  
P.U.E. = PUBLIC UTILITY EASEMENT  
P.A.E. = PUBLIC ACCESS EASEMENT  
U.E. = UTILITY EASEMENT  
W.E. = WATER EASEMENT

FINAL PLAT  
LOTS 1-4, BLOCK A OF LE SHEA ADDITION  
BEING 12.998 ACRES IN THE C.C. KING SURVEY A-719 THE  
G.W. BAKER SURVEY A-1684 AND THE W. LOFTIN SURVEY A-750  
TOWN OF LAKEWOOD VILLAGE, DENTON COUNTY, TEXAS

LANDMARK  
SURVEYORS, L.L.C.  
TX FIRM REGISTRATION NO. 10098600  
4238 I-35 NORTH  
DENTON, TEXAS 76207  
(940) 382-4016  
FAX (940) 387-9784  
DRAWN BY: BTH SCALE: 1"=50' DATE: 21 JANUARY, 2021 JOB NO: 205420

STATE OF TEXAS  
COUNTY OF DENTON; WHEREAS WE, Tuong Huu Le and Golden Gate Investments, LLC and Sheale Enterprises, LP are the owners of that certain lot, tract, or parcel of land situated in the C. C. King Survey Abstract Number 719 and in the G. W. Baker Survey Abstract Number 1684 and in the W. Loftin Survey Abstract Number 750 in the town of Lakewood Village, Denton County, Texas, being all that certain tract of land conveyed by deed from Tuong Huu Le and Golden Gate Investments, LLC to Tuong Huu Le and Golden Gate Investments, LLC and Sheale Enterprises, LP, recorded under Document Number 2017-156277, Real Property Records, Denton County, Texas and being more particularly described as follows:

BEGINNING at an iron rod found for corner in the south line of Green Meadow Drive, a public roadway having a right-of-way of 60.0 feet, said point being the northeast corner of Lot 1, Block N of Lakewood Village, Third Section, an addition to the Town of Lakewood Village, Denton County, Texas according to the plat thereof recorded in Volume 7, Page 59, Plat Records, Denton County, Texas;

THENCE N 87° 45' 06" E, 542.17 feet with said south line of said Green Meadow Drive to an iron rod found for corner in the east line of Shoreline Drive, a public roadway having a right-of-way of 60.0 feet;

THENCE N 02° 17' 55" W, 58.22 feet with said east line of said Shoreline Drive to an iron rod found for corner in the south line of an alley having a right-of-way of 20.0 feet;

THENCE N 89° 19' 38" E, 499.58 feet with said south line of said alley to an iron rod set for corner in a west line of a tract of land conveyed by deed to the United States of America;

THENCE S 05° 24' 26" E, 945.66 feet with said west line of said USA tract to a point in Lake Lewisville;

THENCE N 67° 49' 05" W, 473.01 feet with a north line of said USA tract to United States of America Corps of Engineers monument Number E-241-54 found for corner;

THENCE N 00° 22' 03" E, 224.77 feet with a north line of said USA tract to United States of America Corps of Engineers monument Number E-415-4-POB found for corner;

THENCE N 61° 02' 28" W, 554.83 feet with a north line of said USA tract to a United States of America Corps of Engineers monument found for corner;

THENCE S 32° 26' 39" E, 259.98 feet with a north line of said USA tract to an iron rod found for corner;

THENCE N 78° 53' 37" W, 177.23 feet with a north line of said USA tract to a point for corner in a tank and in the east line of said Block N of said Lakewood Village Third Section;

THENCE N 31° 12' 35" W, 126.32 feet with said east line of said Block N to a point for corner in a tank;

THENCE N 12° 06' 21" W, 136.37 feet with said east line of said Block N to the PLACE OF BEGINNING and containing 12.998 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS THAT We, the aforesaid do hereby adopt this plat designating the herein above tract as LOTS 1, 2, 3 AND 4, BLOCK A, LE SHEA ADDITION, an addition to the City of Lakewood Village, Denton County, Texas, and do hereby dedicate to the public use forever all utility easements, drainage easements, and streets as shown hereon. All and any public utilities shall have the full right to remove and keep removed all growths which may endanger or interfere with the construction, maintenance, or efficiency of its respective system on the utility easement for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective systems without the necessity at anytime of procuring the permission of anyone.

WITNESS MY HAND this \_\_\_\_ day of \_\_\_\_\_, 2021

Tuong Huu Le

STATE OF TEXAS  
COUNTY OF DENTON:  
This instrument was acknowledged before me on \_\_\_\_\_, 2021 by Tuong Huu Le.

NOTARY PUBLIC  
STATE OF TEXAS

CERTIFICATE OF APPROVAL  
This plat has been submitted to and considered by the Planning and Zoning Commission of the Town of Lakewood Village, Texas, and is hereby approved by such Commission.

Dated this \_\_\_\_ day of \_\_\_\_\_ A. D. 2021  
By the Planning and Zoning Commission, Town of Lakewood Village

Chairperson, Planning and Zoning Commission

ATTEST

Town Secretary

CERTIFICATE OF APPROVAL

By the Town Council, City of Lakewood Village

Dated this \_\_\_\_ day of \_\_\_\_\_ A. D. 2021

Mayor, Town of Lakewood Village

ATTESTED

Town Secretary

CERTIFICATE OF SURVEYOR

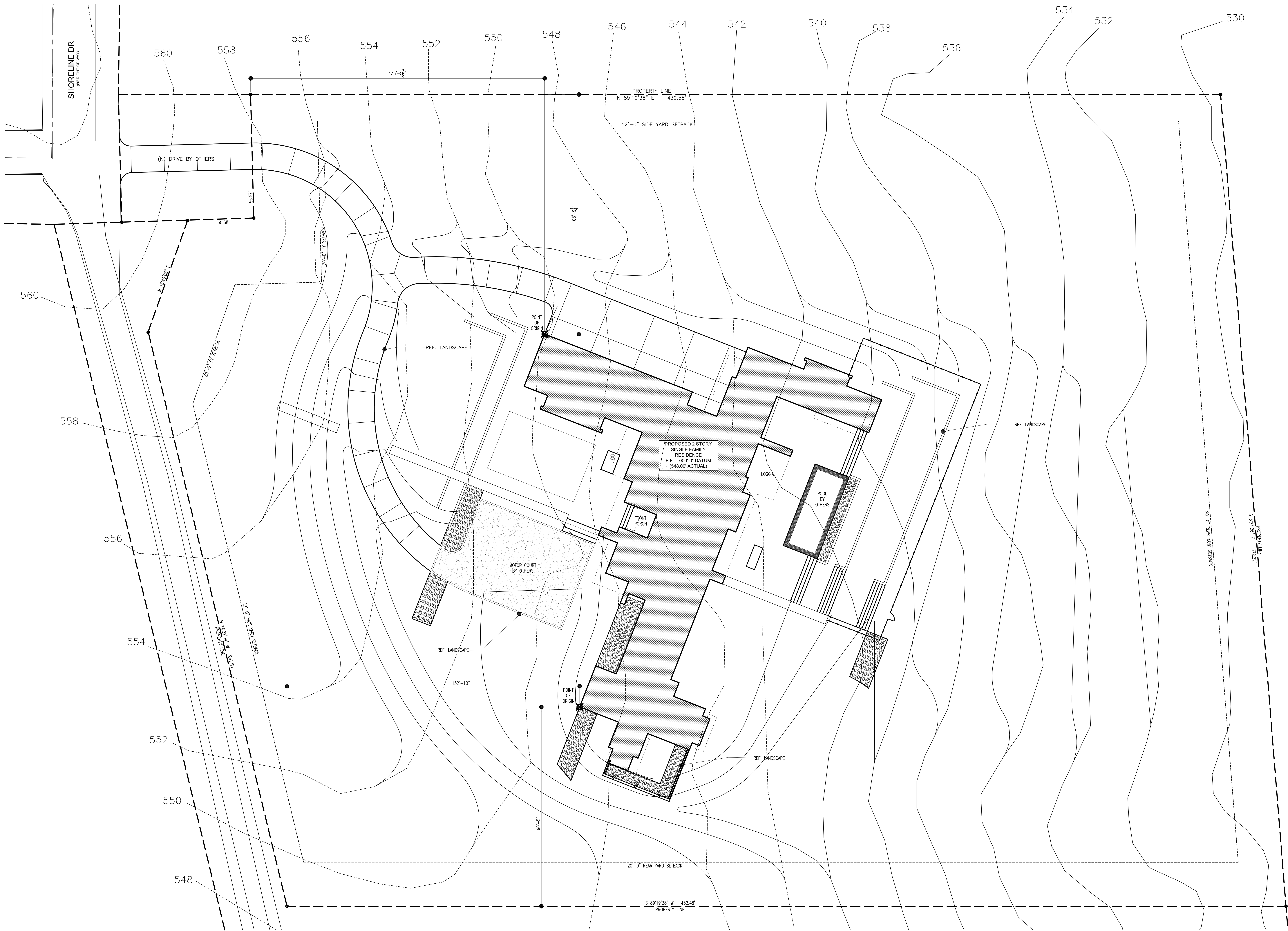
I, the undersigned, a registered professional land surveyor in the State of Texas, do hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

Jerald D. Yensan  
Registered Professional Land Surveyor No. 4561

OWNER/DEVELOPER  
TUONG HUU LE  
17919 BENCHMARK DR.  
DALLAS, TX 72525  
(972) 971-8289

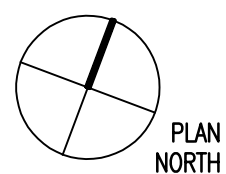
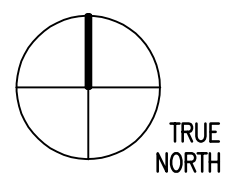
SURVEYOR  
LANDMARK SURVEYORS  
4238 I-35 N  
DENTON, TEXAS 76207  
(940) 382-4016





SITE PLAN NOTES

1. REFERENCE LANDSCAPE ARCHITECT FOR SITE DRAINAGE.
2. REFERENCE LANDSCAPE ARCHITECT FOR SITE IMPROVEMENTS
3. 70% OF NON-ROOF AREA TO BE VEGETATION, PERMEABLE PAVING, OR IMPERMEABLE PAVING WITH WATER RUNOFF.
4. DRIP EMITTERS TO BE INSTALLED AT ALL BEDDING AREAS
5. WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJOINING PRIVATE PROPERTY



01 SITE PLAN

SCALE

1/8" = 1'-0"



**shm** ARCHITECTS  
4514 Travis Street, Suite 302 • Dallas, Texas 75205  
214.252.3830 • 214.252.3840 Fax • [shmarchitects.com](http://shmarchitects.com)

**SHEA ESTATE**  
LAKEWOOD VILLAGE, TX  
Construction Document

SHM PROJECT #

20-061

ISSUE DATE

JUNE 22, 2021

SITE PLAN

A1.02





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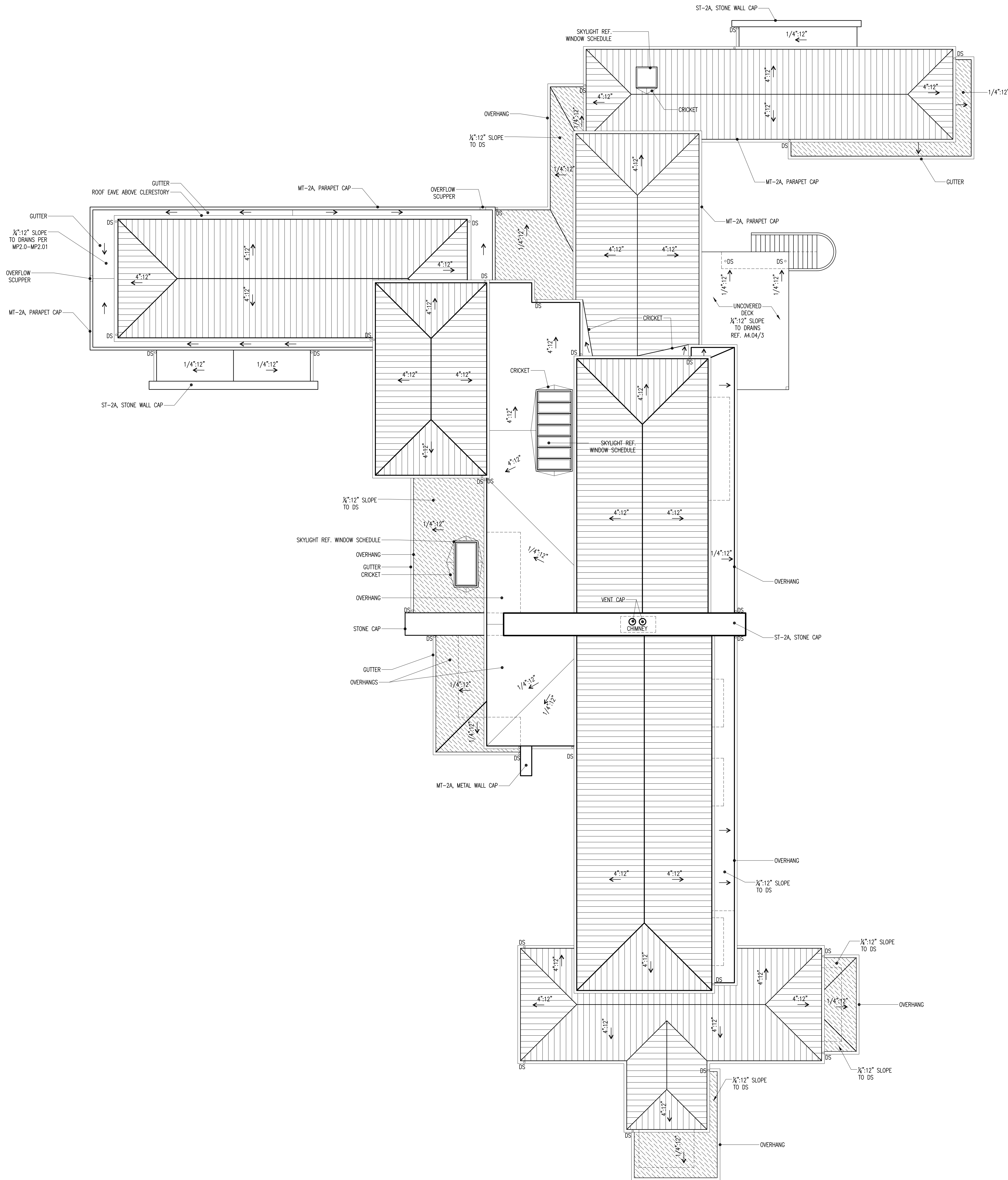
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Construction Document

SHM PROJECT #  
20-061

ISSUE DATE  
JUNE 22, 2021

ROOF PLAN

A1.03



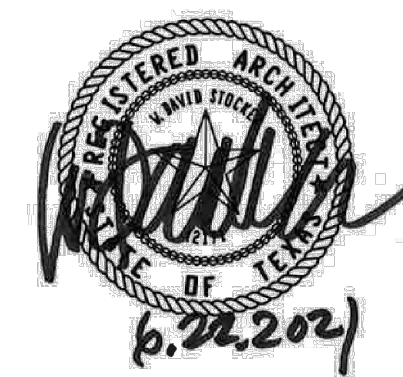
- ROOF PLAN NOTES**
1. CUSTOM GUTTERS TO BE 6" PAINT GRIP W/ 4" DOWNSPOUT, REF. A6.0 DETAILS FOR DIMENSIONS
  2. ALL DOWNSPOUTS TO BE ROUTED TO SUBSURFACE FOR DRAINAGE
  3. ARROWS INDICATE DOWNWARD SLOPE OF ROOF
  4. REFER TO ROOF DRAINAGE PLAN MP2-MP2.01 FOR ROOF SLOPE & DRAINAGE
  5. ROOF FINISH MATERIALS INCLUDE TPO MEMBRANE WITH GRAVEL BALLAST

- ROOF PLAN LEGEND**
- TPO MEMBRANE, R-1A
  - GRAVEL BALLAST OVER TPO, R-1A
  - 4:12 STANDING SEAM METAL ROOF



**01** ROOF PLAN  
SCALE: 1/8" = 1'-0"





shmm ARCHITECTS

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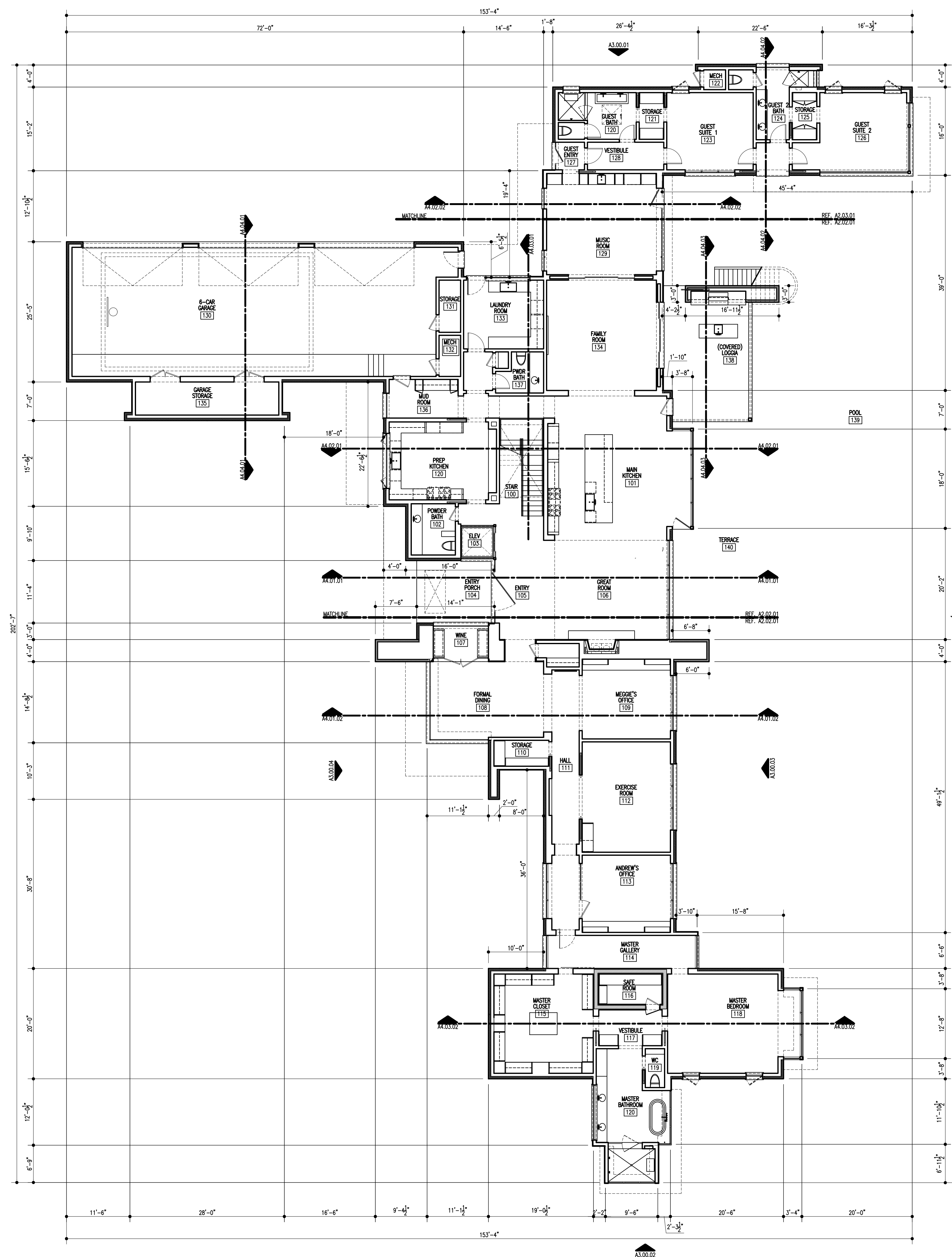
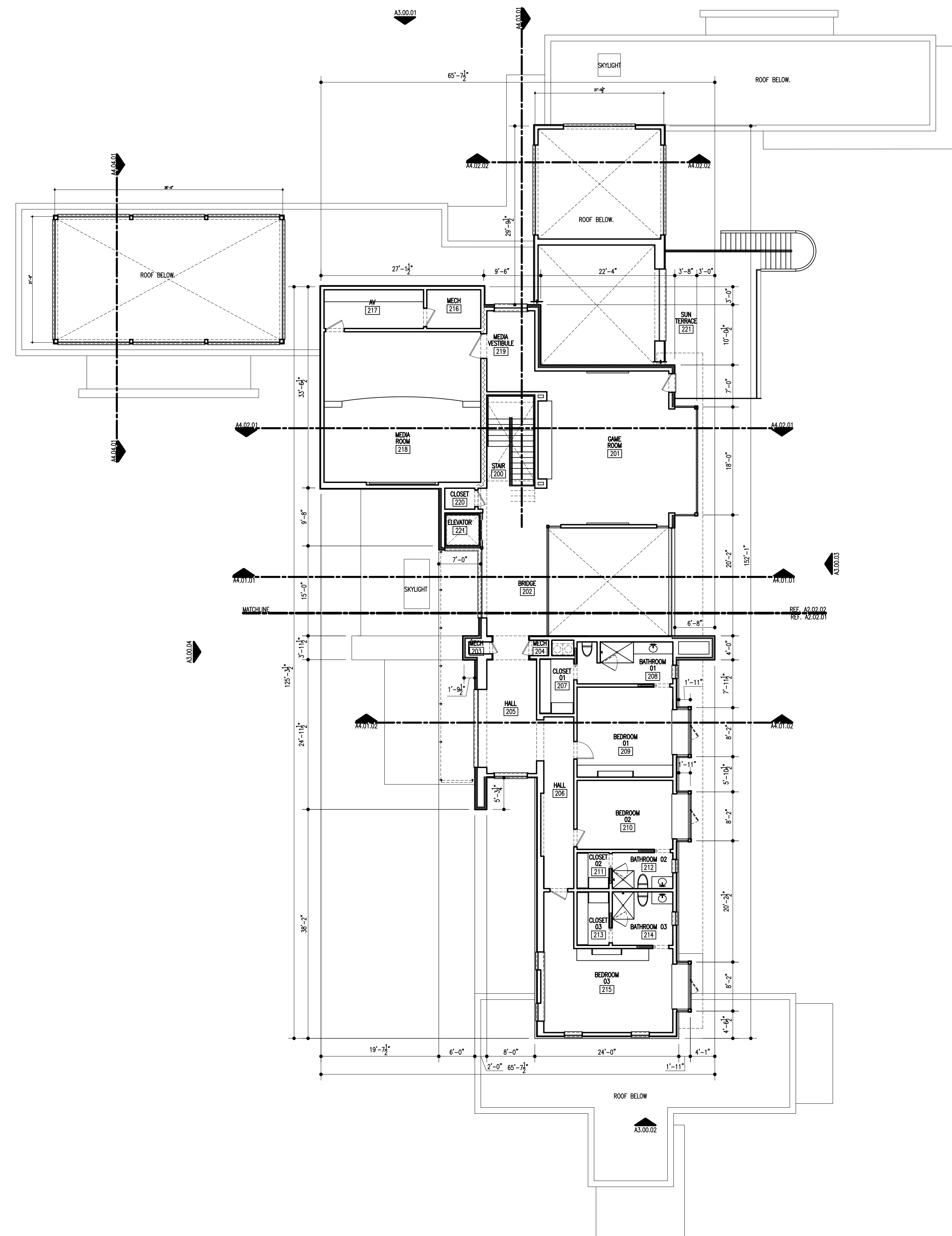
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KEY FLOOR PLANS

A2.00







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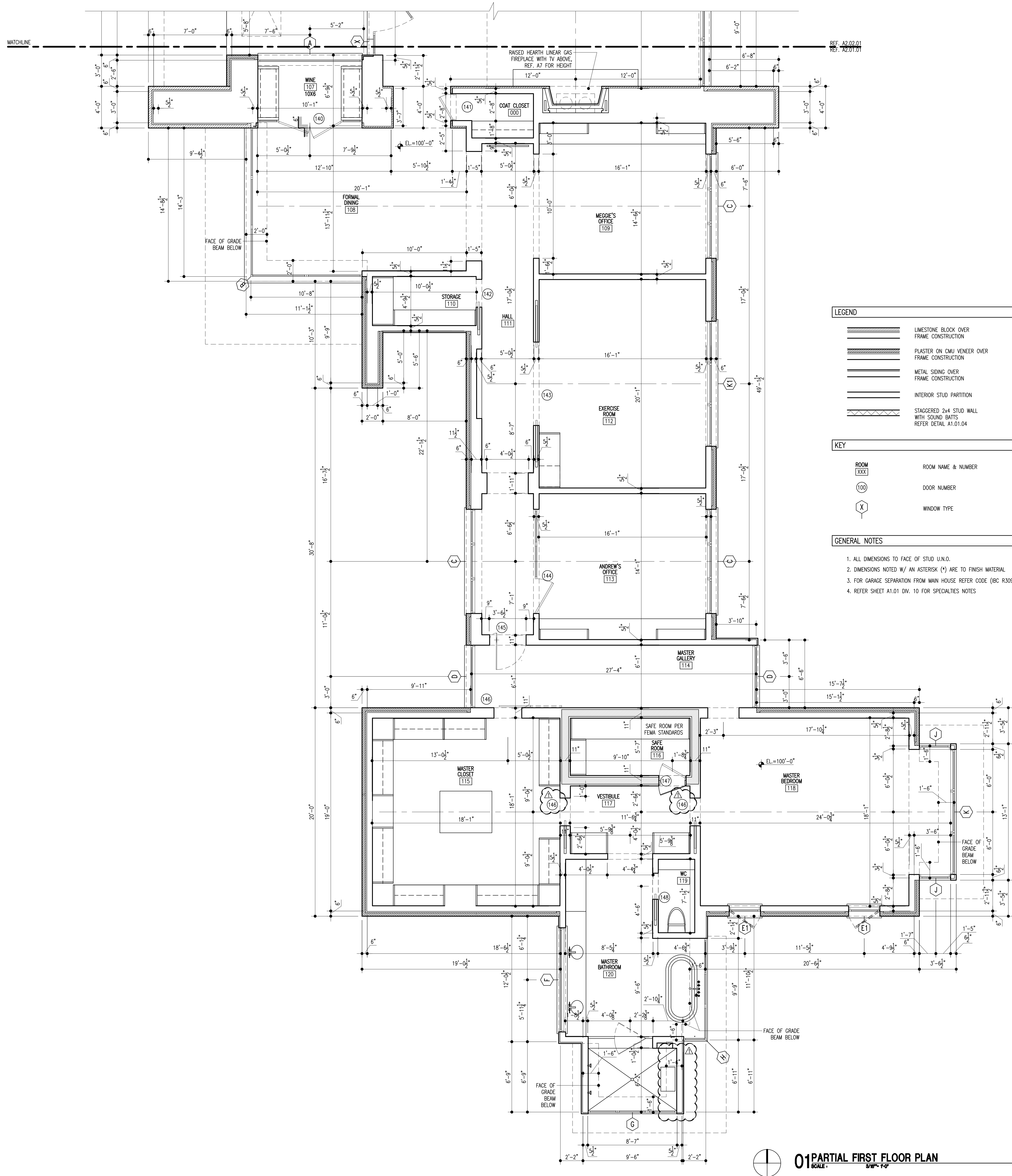
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**20-061**

REVISION 08.27.21

ISSUE DATE  
**JUNE 22, 2021**

**FIRST FLOOR PLAN**

**A2.01**







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FIRST FLOOR PLAN

A2.02

LEGEND

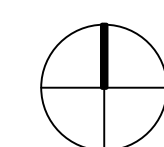
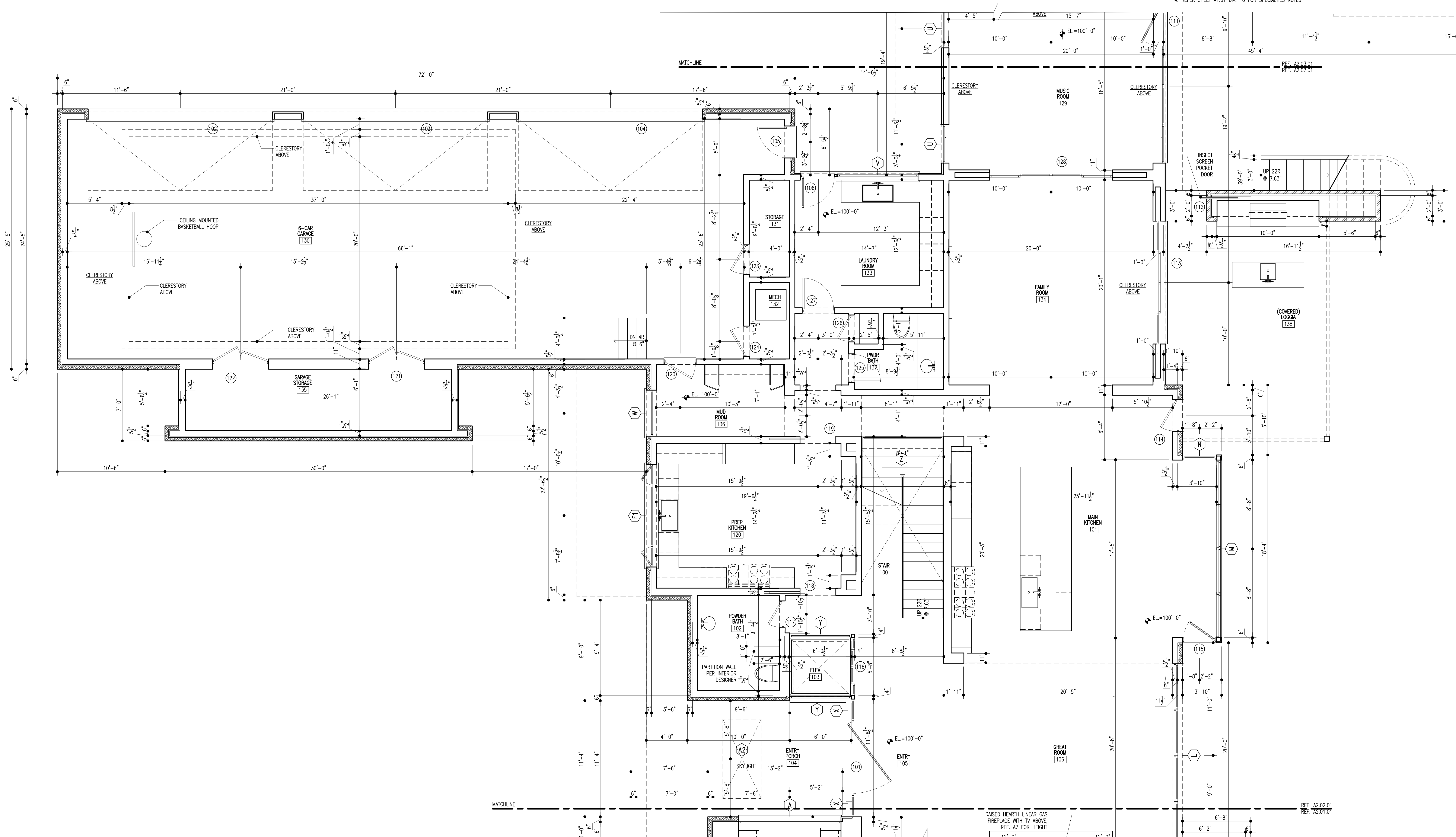
- LIMESTONE BLOCK OVER FRAME CONSTRUCTION
- PLASTER ON CMU VENEER OVER FRAME CONSTRUCTION
- METAL SIDING OVER FRAME CONSTRUCTION
- INTERIOR STUD PARTITION
- STAGGERED 2x4 STUD WALL WITH SOUND BATTS REFER DETAIL A1.01.04

KEY

- ROOM XXX ROOM NAME & NUMBER
- 100 DOOR NUMBER
- X WINDOW TYPE

GENERAL NOTES

- ALL DIMENSIONS TO FACE OF STUD U.N.O.
- DIMENSIONS NOTED W/ AN ASTERISK (\*) ARE TO FINISH MATERIAL
- FOR GARAGE SEPARATION FROM MAIN HOUSE REFER CODE (IBC R309.2)
- REFER SHEET A1.01.DV.10 FOR SPECIALTIES NOTES



01PARTIAL FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"





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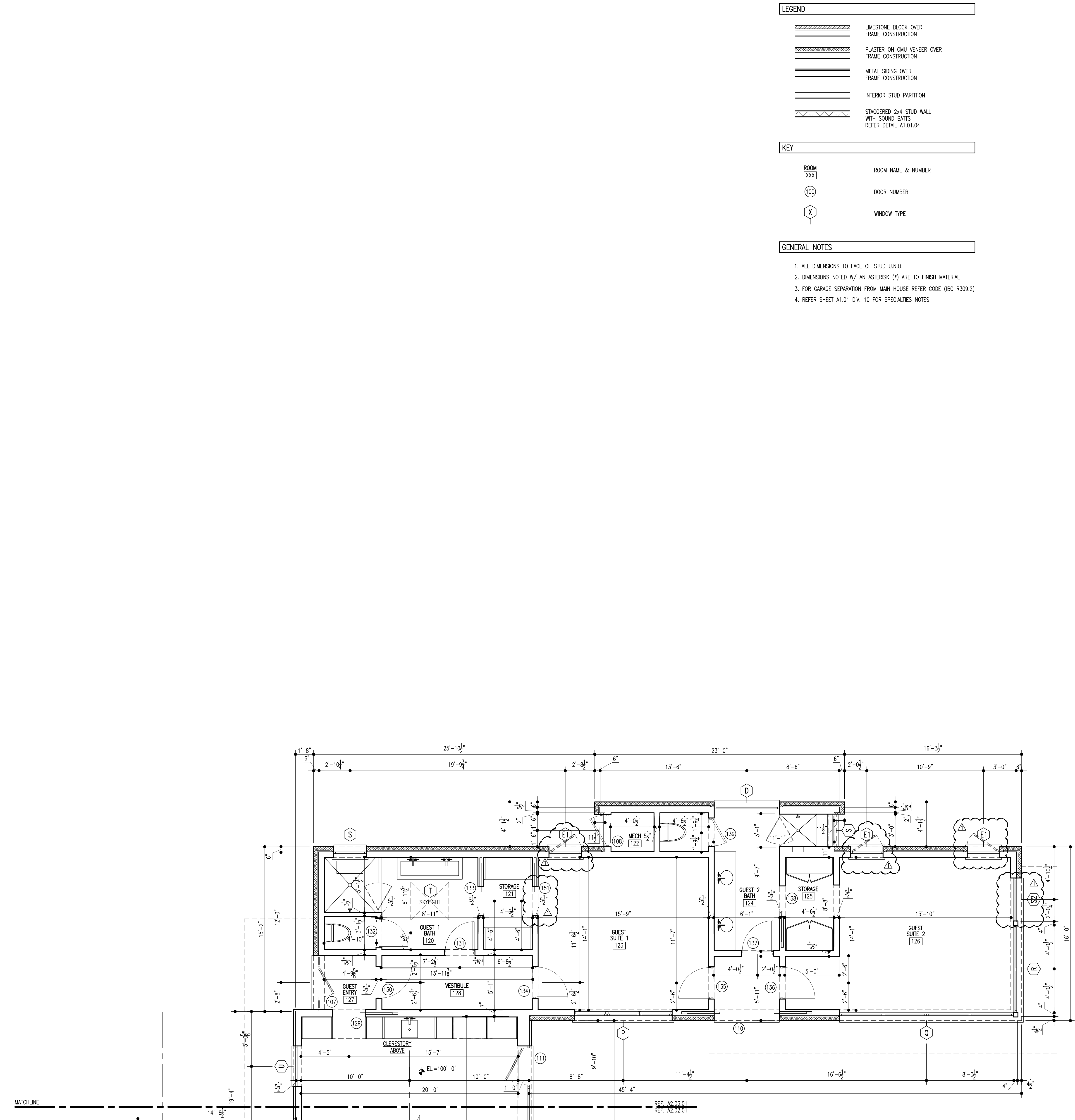
SHM PROJECT #  
**20-061**

△ REVISION 08.27.21  
△ REVISION 08.30.21

ISSUE DATE  
**JUNE 22, 2021**

**FIRST FLOOR PLAN**

**A2.03**



**01PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





LEGEND

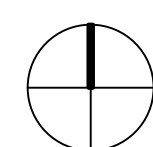
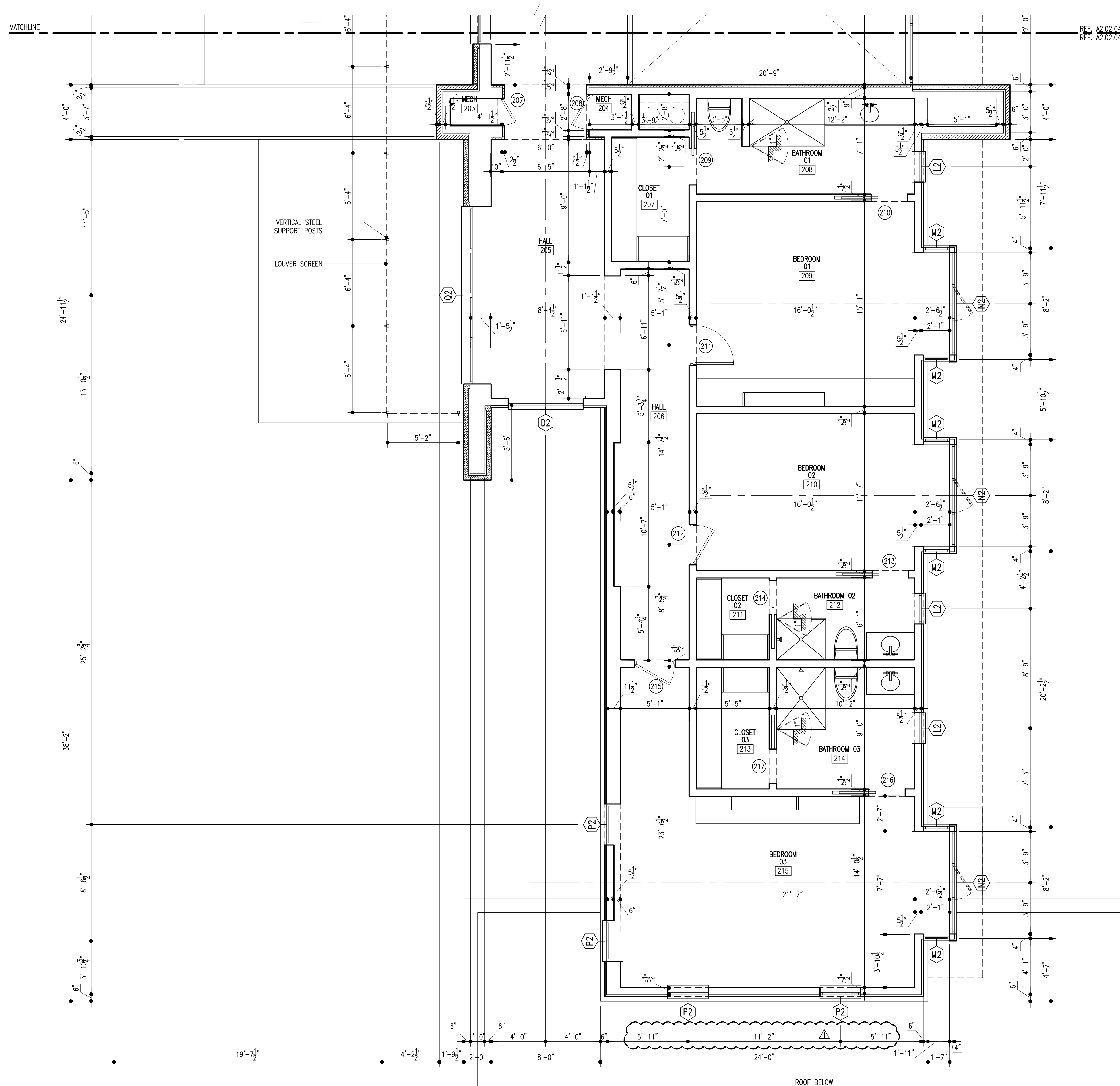
- LIMESTONE BLOCK OVER  
FRAME CONSTRUCTION
- PLASTER ON CMU VENEER OVER  
FRAME CONSTRUCTION
- METAL SIDING OVER  
FRAME CONSTRUCTION
- INTERIOR STUD PARTITION
- STAGGERED 2x4 STUD WALL  
WITH SOUND BATTS  
REFER DETAIL A1.01.04

KEY

- ROOM  
XXX ROOM NAME & NUMBER
- (00) DOOR NUMBER
- X WINDOW TYPE

GENERAL NOTES

- ALL DIMENSIONS TO FACE OF STUD UNLESS NOTED.
- DIMENSIONS NOTED W/ AN ASTERISK (\*) ARE TO FINISH MATERIAL.
- FOR GARAGE SEPARATION FROM MAIN HOUSE REFER CODE (BIC R309.2)
- REFER SHEET A1.01 DW. 10 FOR SPECIALTIES NOTES



**01 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





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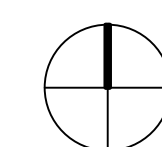
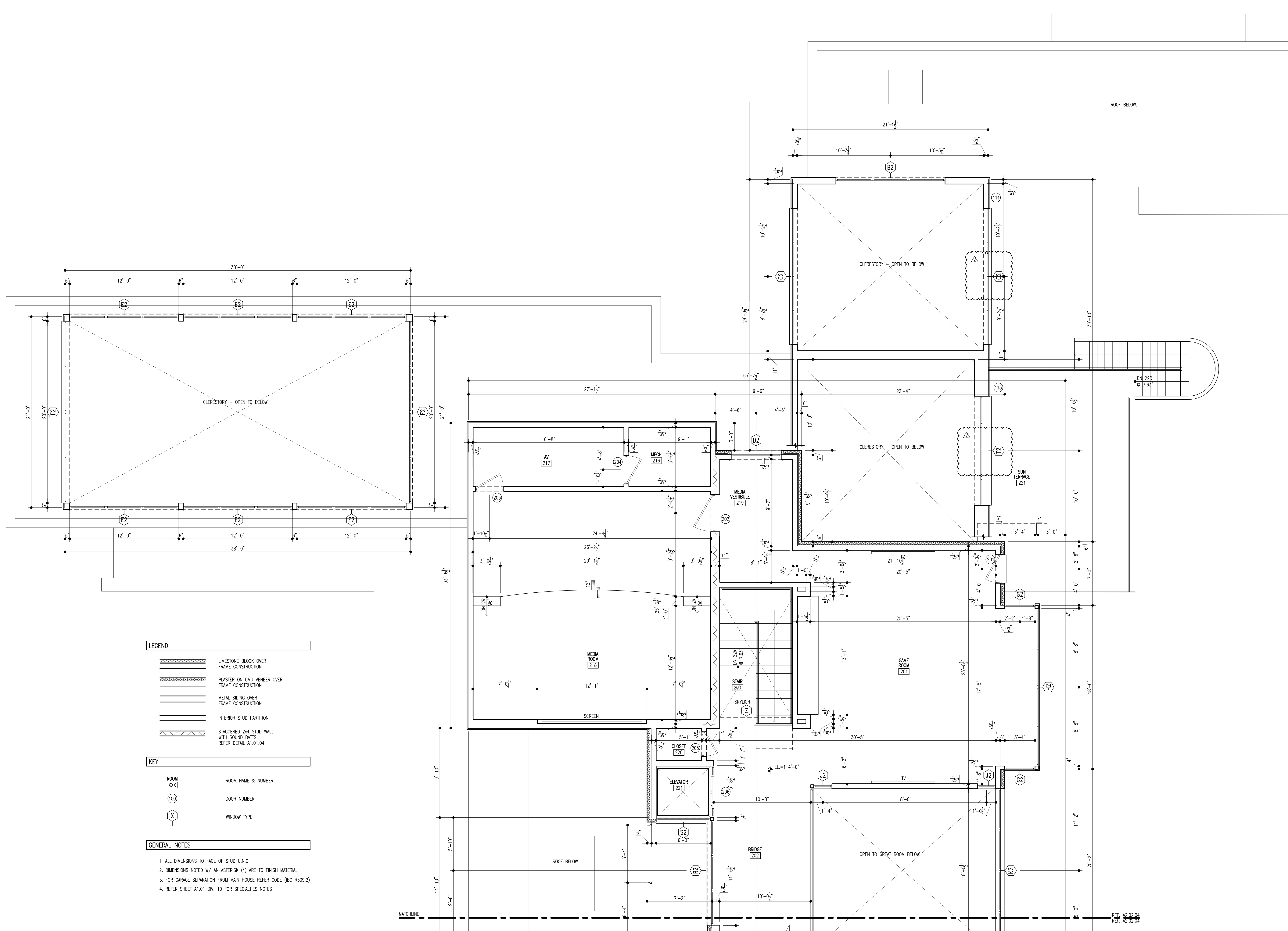
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**20-061**

REVISION 08.30.21

ISSUE DATE  
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**SECOND FLOOR PLAN**

**A2.05**



**01 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





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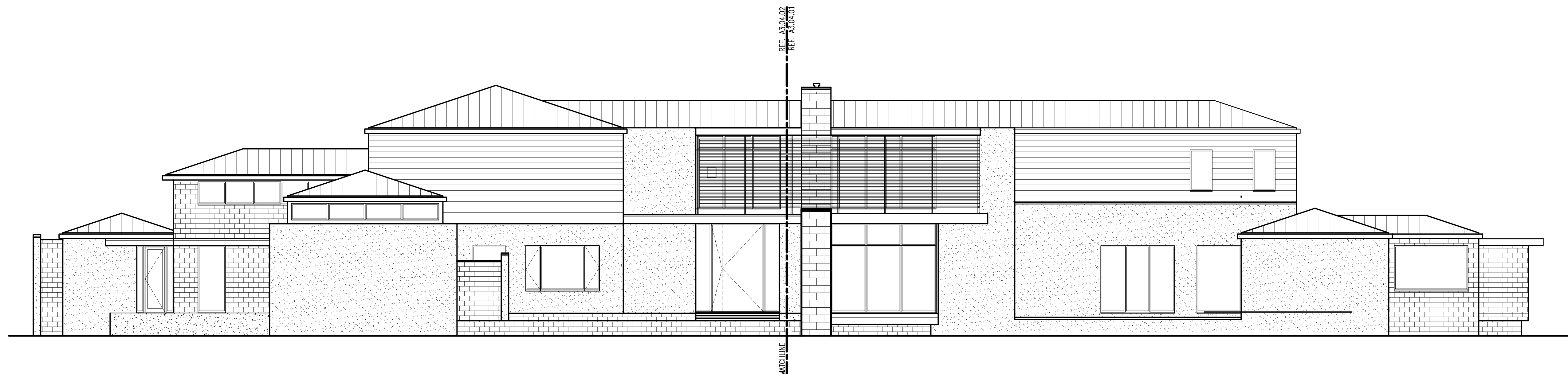
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EXTERIOR KEY  
ELEVATIONS

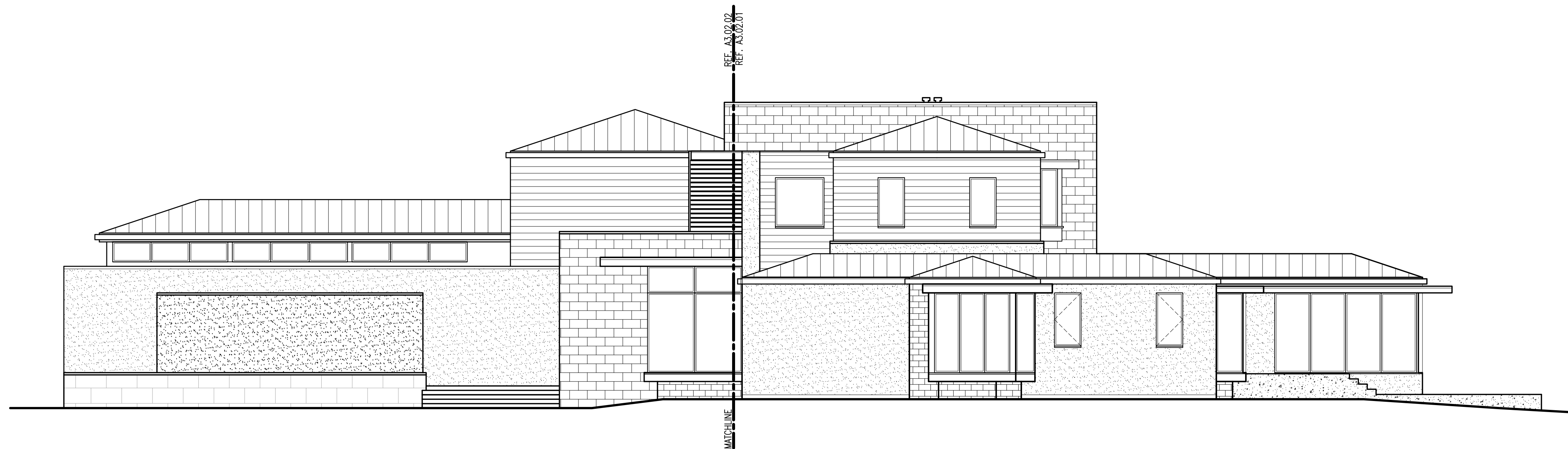
**A3.00**



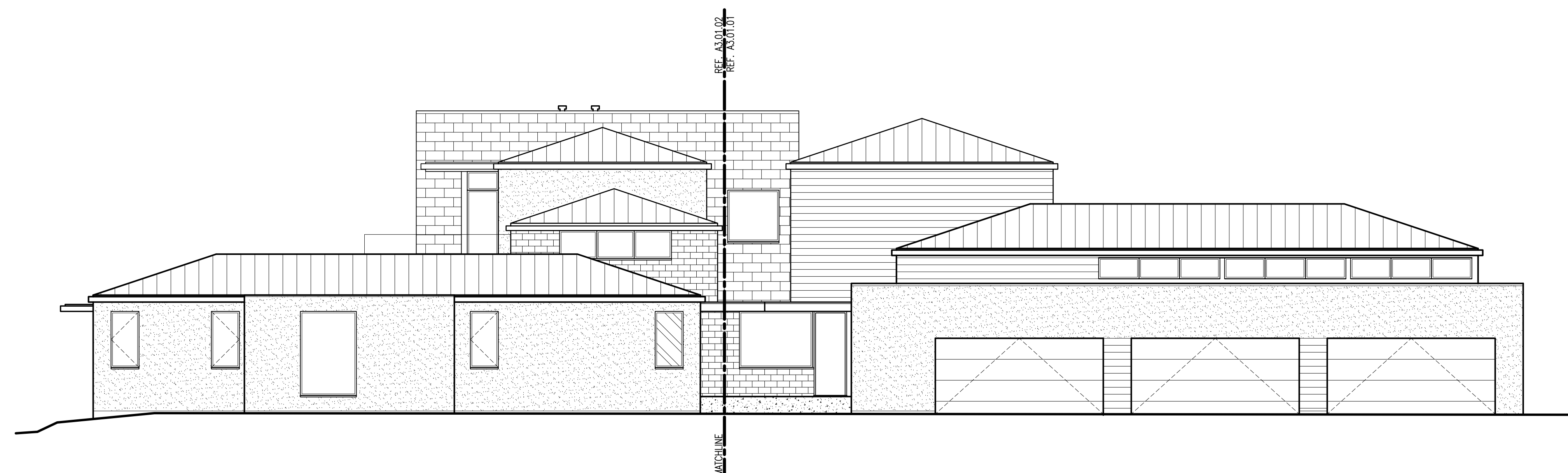
**04 WEST KEY ELEVATION**  
SCALE: 1/8"=1'-0"



**03 EAST KEY ELEVATION**  
SCALE: 1/8"=1'-0"



**02 SOUTH KEY ELEVATION**  
SCALE: 1/8"=1'-0"

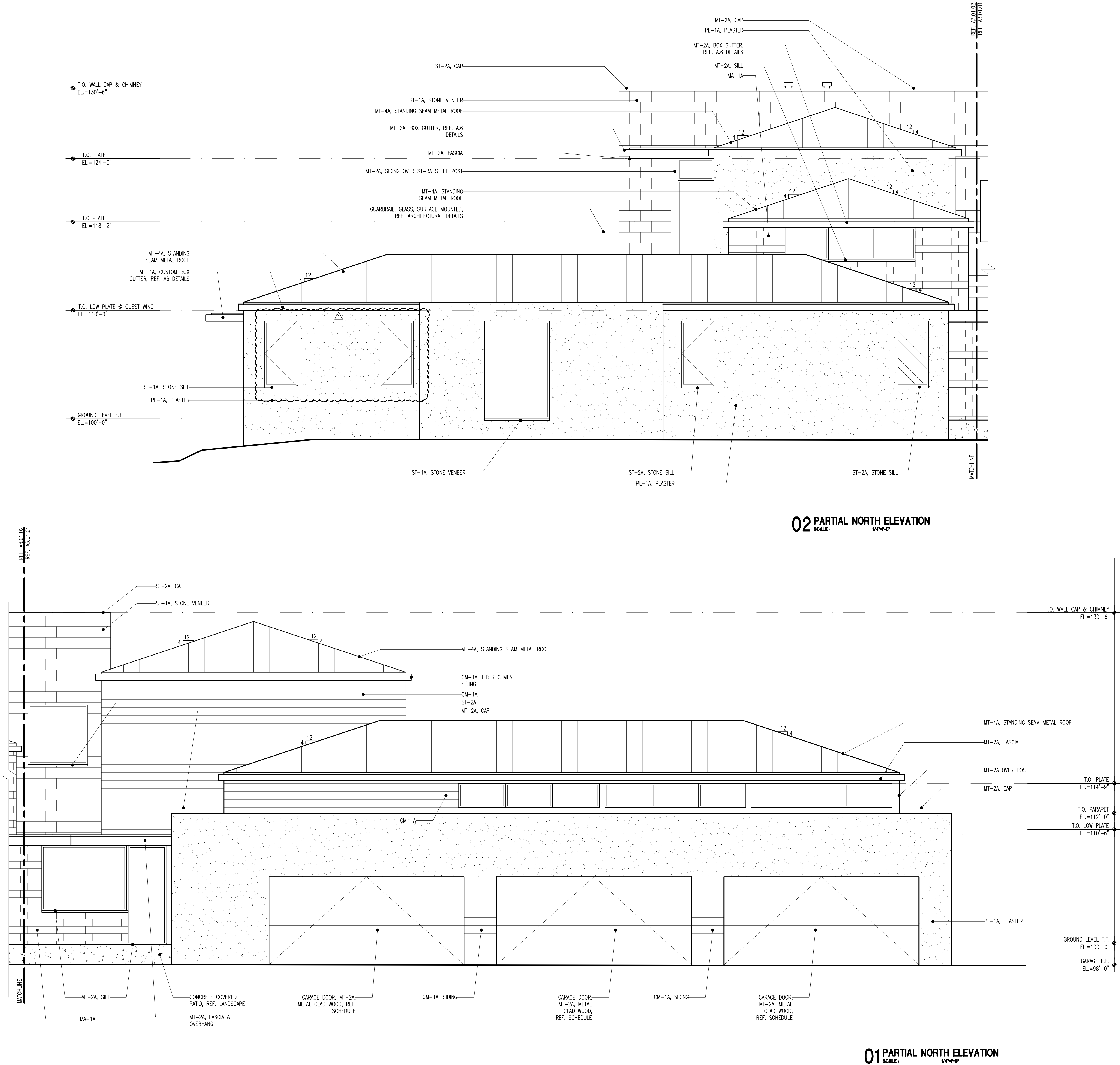


**01 NORTH KEY ELEVATION**  
SCALE: 1/8"=1'-0"

| EXTERIOR FINISH AREA TABULATION |              |
|---------------------------------|--------------|
| MATERIAL                        | % TOTAL AREA |
| NON-MASONRY                     | 19%          |
| MASONRY                         | 81%          |

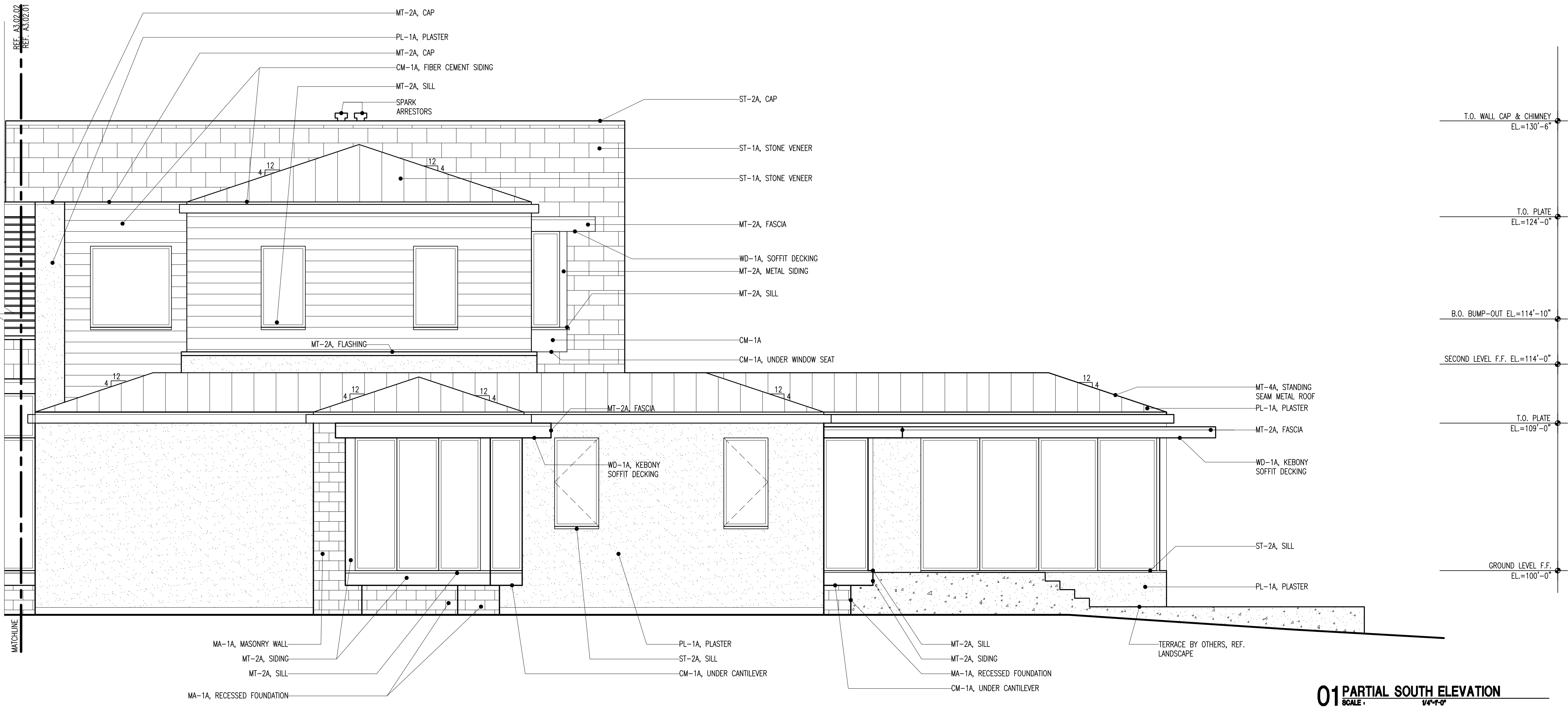
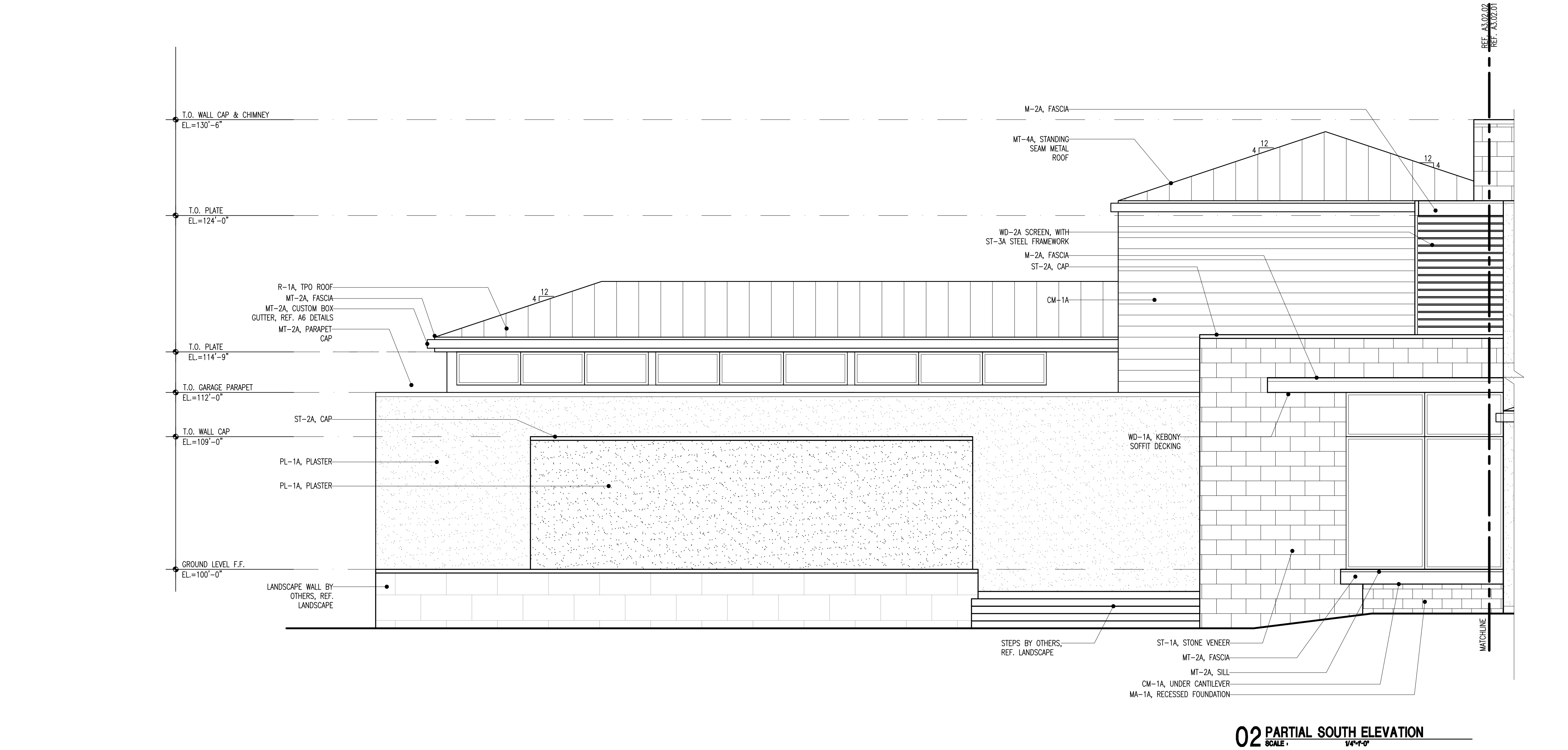


| EXTERIOR FINISH SELECTIONS |              |               |                              |                                             |                                          |                         |                  |                          |                                            |
|----------------------------|--------------|---------------|------------------------------|---------------------------------------------|------------------------------------------|-------------------------|------------------|--------------------------|--------------------------------------------|
| DESIGNATION                | MATERIAL     | SPECIES/ALLOY | MANUFACTURER/SUPPLIER        | TYPE                                        | SIZE (NOMINAL), PATTERN                  | COLOR                   | FINISH           | JOINT                    | REMARKS                                    |
| ST-1A                      | CUT STONE    | LIMESTONE     | TO BE SELECTED               | WALL                                        | 4" VENEER, 12"x24", RUNNING BOND         | TO BE SELECTED          | SMOOTH CUT       | 1/4", RAKED, COLOR: BUFF |                                            |
| ST-2A                      | STONE        | LIMESTONE     | TO BE SELECTED               | CAP STONE, SILL                             | REFER DETAILS FOR CUT SHAPES             | TO BE SELECTED          | SMOOTH CUT       | N/A                      | USE ONE PIECE IF AVAILABLE IN REQ'D LENGTH |
| ST-3A                      | STONE        | LIMESTONE     | TO BE SELECTED               | PAVING                                      | REFER LANDSCAPE                          | TO BE SELECTED          | REFER LANDSCAPE  | REFER LANDSCAPE          |                                            |
| PL-1A                      | PLASTER      | LAHABRA       | TO BE SELECTED               | CEMENTITIOUS, 3-COAT ASSEMBLY, ON LATH      | N/A                                      | TO BE SELECTED          | SMOOTH TROWEL    | N/A                      |                                            |
| MT-1A                      | METAL        | STEEL         | -                            | BOX GUTTER, BOX DOWNSPOUT, LEADER BOX       | 26 GA, REF. ARCH. DETAILS FOR DIMENSIONS | N/A                     | PAINT-GRIP, BARE | N/A                      | REF. ROOF PLAN                             |
| MT-2A                      | METAL        | STEEL         | -                            | FLASHING, PARAPET CAP, FASCIA, SIDING, ETC. | 26 GA                                    | N/A                     | PAINT-GRIP, BARE | N/A                      |                                            |
| MT-3A                      | METAL        | STEEL         | -                            | STEEL, STRUCTURAL STEEL                     | REFER ARCH DETAILS FOR DIMENSIONS        | TBD                     | PAINT COLOR TBD  | N/A                      |                                            |
| MT-4A                      | METAL        | STEEL         | -                            | STANDING SEAM METAL ROOF                    | 26 GA, 18" PANEL                         | N/A                     | PAINT-GRIP, BARE | N/A                      |                                            |
| CM-1A                      | FIBER CEMENT | N/A           | JAMES HARDIE, ARTISAN SIDING | WALL, SHIPLAP SIDING                        | 9" HORIZONTAL EXPOSURES                  | TBD                     | PAINTED          | SHIPLAP                  |                                            |
| WD-1A                      | WOOD         | KEBONY        | TO BE SELECTED               | SOFFIT DECKING                              | 1x4, LENGTHS 6'-12"                      | TO BE SELECTED BY ARCH. |                  | 1/8" GAP                 |                                            |
| WD-2A                      | WOOD         | KEBONY        | TO BE SELECTED               | CLADDING                                    | 2x2                                      | TO BE SELECTED BY ARCH. |                  |                          |                                            |
| R-1A                       | TPO          | N/A           | TO BE SELECTED               | ROOF, FULLY ADHERED MEMBRANE                | N/A                                      | WHITE                   | N/A              | REF. MANUF.              |                                            |
| MA-1A                      | MASONRY      |               | TO BE SELECTED               | WALL                                        | 4" VENEER, STACK                         | TO BE SELECTED          | TBD              | 1/4", RAKED, COLOR: BUFF |                                            |





| EXTERIOR FINISH SELECTIONS |              |               |                              |                                             |                                          |                         |                  |                          |                                            |
|----------------------------|--------------|---------------|------------------------------|---------------------------------------------|------------------------------------------|-------------------------|------------------|--------------------------|--------------------------------------------|
| DESIGNATION                | MATERIAL     | SPECIES/ALLOY | MANUFACTURER/SUPPLIER        | TYPE                                        | SIZE (NOMINAL), PATTERN                  | COLOR                   | FINISH           | JOINT                    | REMARKS                                    |
| ST-1A                      | OUT. STONE   | LIMESTONE     | TO BE SELECTED               | WALL                                        | 4" VENEER, 12"x24", RUNNING BOND         | TO BE SELECTED          | SMOOTH CUT       | 1/4", RAKED, COLOR: BUFF |                                            |
| ST-2A                      | STONE        | LIMESTONE     | TO BE SELECTED               | CAP STONE, SILL                             | REF. DETAILS FOR CUT SHAPES              | TO BE SELECTED          | SMOOTH CUT       | N/A                      | USE ONE PIECE IF AVAILABLE IN REQ'D LENGTH |
| ST-3A                      | STONE        | LIMESTONE     | TO BE SELECTED               | PAVING                                      | REFER LANDSCAPE                          | TO BE SELECTED          | REFER LANDSCAPE  | N/A                      |                                            |
| PL-1A                      | PLASTER      | LAHABRA       | TO BE SELECTED               | CEMENTITIOUS, 3-COAT ASSEMBLY, ON LATH      | N/A                                      | TO BE SELECTED          | SMOOTH TROWEL    | N/A                      |                                            |
| MT-1A                      | METAL        | STEEL         | -                            | BOX GUTTER, BOX DOWNSPOUT, LEADER BOX       | 26 GA, REF. ARCH. DETAILS FOR DIMENSIONS | N/A                     | PAINT-GRIP, BARE | N/A                      | REF. ROOF PLAN                             |
| MT-2A                      | METAL        | STEEL         | -                            | FLASHING, PARAPET CAP, FASCIA, SIDING, ETC. | 26 GA                                    | N/A                     | PAINT-GRIP, BARE | N/A                      |                                            |
| MT-3A                      | METAL        | STEEL         | -                            | STEEL, STRUCTURAL STEEL                     | REF. ARCH DETAILS FOR DIMENSIONS         | TBD                     | PAINT COLOR TBD  | N/A                      |                                            |
| MT-4A                      | METAL        | STEEL         | -                            | STANDING SEAM METAL ROOF                    | 26 GA, 18" PANEL                         | N/A                     | PAINT-GRIP, BARE | N/A                      | STANDING SEAM                              |
| CM-1A                      | FIBER CEMENT | N/A           | JAMES HARDIE, ARTISAN SIDING | WALL, SHIPLAP SIDING                        | 9" HORIZONTAL EXPOSURES                  | TBD                     | PAINTED          | SHIPLAP                  |                                            |
| WD-1A                      | WOOD         | KEBONY        | TO BE SELECTED               | SOFFIT DECKING                              | 1x4, LENGTHS 6'-12"                      | TO BE SELECTED BY ARCH. |                  | 1/8" GAP                 |                                            |
| WD-2A                      | WOOD         | KEBONY        | TO BE SELECTED               | CLADDING                                    | 2x2                                      | TO BE SELECTED BY ARCH. |                  |                          |                                            |
| R-1A                       | TPO          | N/A           | TO BE SELECTED               | ROOF, FULLY ADHERED MEMBRANE                | N/A                                      | WHITE                   | N/A              | REF. MANUF.              |                                            |
| MA-1A                      | MASONRY      | N/A           | TO BE SELECTED               | WALL                                        | 4" VENEER, STACK                         | TO BE SELECTED          | TBD              | 1/4", RAKED, COLOR: BUFF |                                            |







**shmm** ARCHITECTS

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**SHEA ESTATE**  
LAKEWOOD VILLAGE, TX  
Construction Document

SHM PROJECT #  
20-061

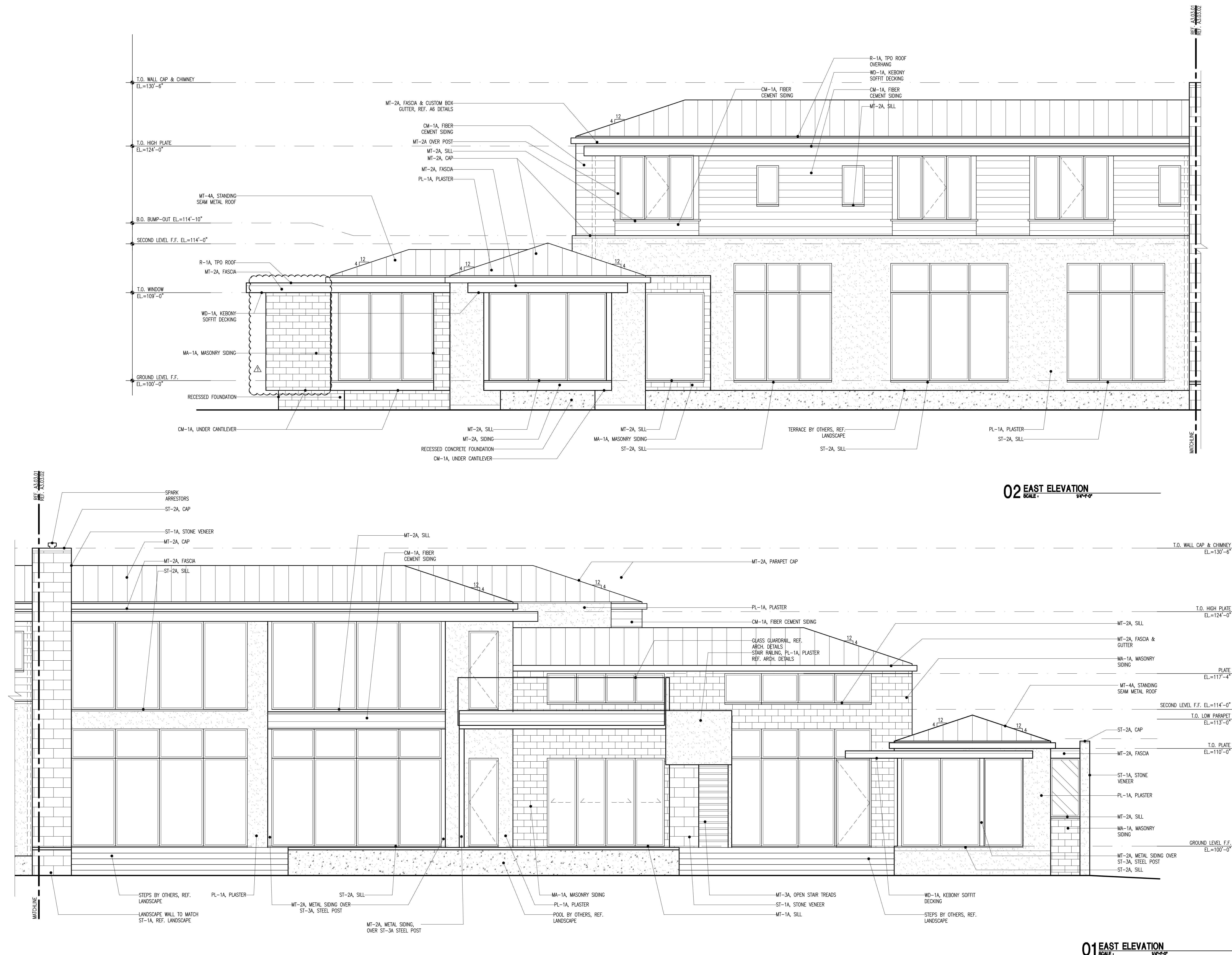
REVISION 08.27.21

ISSUE DATE  
JUNE 22, 2021

EXTERIOR ELEVATIONS

A3.03

| EXTERIOR FINISH SELECTIONS |              |               |                              |                                             |                                          |                         |                  |                          |                                            |
|----------------------------|--------------|---------------|------------------------------|---------------------------------------------|------------------------------------------|-------------------------|------------------|--------------------------|--------------------------------------------|
| DESIGNATION                | MATERIAL     | SPECIES/ALLOY | MANUFACTURER/SUPPLIER        | TYPE                                        | SIZE (NOMINAL), PATTERN                  | COLOR                   | FINISH           | JOINT                    | REMARKS                                    |
| ST-1A                      | CUT STONE    | LIMESTONE     | TO BE SELECTED               | WALL                                        | 4" VENEER, 12"x24", RUNNING BOND         | TO BE SELECTED          | SMOOTH CUT       | 1/4", RAKED, COLOR: BUFF |                                            |
| ST-2A                      | STONE        | LIMESTONE     | TO BE SELECTED               | CAP STONE, SILL                             | REF. DETAILS FOR CUT SHAPES              | TO BE SELECTED          | SMOOTH CUT       | N/A                      | USE ONE PIECE IF AVAILABLE IN REQ'D LENGTH |
| ST-3A                      | STONE        | LIMESTONE     | TO BE SELECTED               | PAVING                                      | REFER LANDSCAPE                          | TO BE SELECTED          | REFER LANDSCAPE  | REFER LANDSCAPE          |                                            |
| PL-1A                      | PLASTER      | LAHABRA       | TO BE SELECTED               | CEMENTITIOUS, 3-COAT ASSEMBLY, ON LATH      | N/A                                      | TO BE SELECTED          | SMOOTH TROWEL    | N/A                      |                                            |
| MT-1A                      | METAL        | STEEL         | -                            | BOX GUTTER, BOX DOWNSPOUT, LEADER BOX       | 26 GA, REF. ARCH. DETAILS FOR DIMENSIONS | N/A                     | PAINT-GRIP, BARE | N/A                      | REF. ROOF PLAN                             |
| MT-2A                      | METAL        | STEEL         | -                            | FLASHING, PARAPET CAP, FASCIA, SIDING, ETC. | 26 GA                                    | N/A                     | PAINT-GRIP, BARE | N/A                      |                                            |
| MT-3A                      | METAL        | STEEL         | -                            | STEEL, STRUCTURAL STEEL                     | REF. ARCH DETAILS FOR DIMENSIONS         | TBD                     | PAINT COLOR TBD  | N/A                      |                                            |
| MT-4A                      | METAL        | STEEL         | -                            | STANDING SEAM METAL ROOF                    | 26 GA, 18" PANEL                         | N/A                     | PAINT-GRIP, BARE | STANDING SEAM            |                                            |
| CM-1A                      | FIBER CEMENT | N/A           | JAMES HARDIE, ARTISAN SIDING | WALL, SHIPLAP SIDING                        | 9" HORIZONTAL EXPOSURES                  | TBD                     | PAINTED          | SHIPLAP                  |                                            |
| WD-1A                      | WOOD         | KEBONY        | TO BE SELECTED               | SOFFIT DECKING                              | 1x4, LENGTHS 6'-12'                      | TO BE SELECTED BY ARCH. |                  | 1/8" GAP                 |                                            |
| WD-2A                      | WOOD         | KEBONY        | TO BE SELECTED               | CLADDING                                    | 2x2                                      | TO BE SELECTED BY ARCH. |                  |                          |                                            |
| R-1A                       | TPO          | -             | TO BE SELECTED               | ROOF, FULLY ADHERED MEMBRANE                | N/A                                      | WHITE                   | N/A              | REF. MANUF.              |                                            |
| MA-1A                      | MASONRY      | -             | TO BE SELECTED               | WALL                                        | 4" VENEER, STACK                         | TO BE SELECTED          | TBD              | 1/4", RAKED, COLOR: BUFF |                                            |







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SHEA ESTATE  
LAKEWOOD VILLAGE, TX

Construction Document

SHM PROJECT #  
20-061

ISSUE DATE  
JUNE 22, 2021

EXTERIOR ELEVATIONS

A3.04

| EXTERIOR FINISH SELECTIONS |              |               |                              |                                             |                                          |                         |                  |                          |                                            |
|----------------------------|--------------|---------------|------------------------------|---------------------------------------------|------------------------------------------|-------------------------|------------------|--------------------------|--------------------------------------------|
| DESIGNATION                | MATERIAL     | SPECIES/ALLOY | MANUFACTURER/SUPPLIER        | TYPE                                        | SIZE (NOMINAL), PATTERN                  | COLOR                   | FINISH           | JOINT                    | REMARKS                                    |
| ST-1A                      | CUT STONE    | LIMESTONE     | TO BE SELECTED               | WALL                                        | 4" VENEER, 12"x24", RUNNING BOND         | TO BE SELECTED          | SMOOTH CUT       | 1/4", RAKED, COLOR: BUFF |                                            |
| ST-2A                      | STONE        | LIMESTONE     | TO BE SELECTED               | CAP STONE, SILL                             | REF. DETAILS FOR CUT SHAPES              | TO BE SELECTED          | SMOOTH CUT       | N/A                      | USE ONE PIECE IF AVAILABLE IN REQ'D LENGTH |
| ST-3A                      | STONE        | LIMESTONE     | TO BE SELECTED               | PAVING                                      | REFER LANDSCAPE                          | TO BE SELECTED          | REFER LANDSCAPE  | REFER LANDSCAPE          |                                            |
| PL-1A                      | PLASTER      | LAPABRA       | TO BE SELECTED               | CEMENTITIOUS, 3-COAT ASSEMBLY, ON LATH      | N/A                                      | TO BE SELECTED          | SMOOTH TROWEL    | N/A                      |                                            |
| MT-1A                      | METAL        | STEEL         | —                            | BOX GUTTER, BOX DOWNSPOUT, LEADER BOX       | 26 GA, REF. ARCH. DETAILS FOR DIMENSIONS | N/A                     | PAINT-GRIP, BARE | N/A                      | REF. ROOF PLAN                             |
| MT-2A                      | METAL        | STEEL         | —                            | FLASHING, PARAPET CAP, FASCIA, SIDING, ETC. | 26 GA                                    | N/A                     | PAINT-GRIP, BARE | N/A                      |                                            |
| MT-3A                      | METAL        | STEEL         | —                            | STEEL, STRUCTURAL STEEL                     | REF. ARCH DETAILS FOR DIMENSIONS         | TBD                     | PAINT COLOR TBD  | N/A                      |                                            |
| MT-4A                      | METAL        | STEEL         | —                            | STANDING SEAM METAL ROOF                    | 26 GA, 18" PANEL                         | N/A                     | PAINT-GRIP, BARE | N/A                      |                                            |
| CM-1A                      | FIBER CEMENT | N/A           | JAMES HARDIE, ARTISAN SIDING | WALL, SHIPLAP SIDING                        | 9" HORIZONTAL EXPOSURES                  | TBD                     | PAINTED          | SHIPLAP                  |                                            |
| WD-1A                      | WOOD         | KEBONY        | TO BE SELECTED               | SOFFIT DECKING                              | 1x4, LENGTHS 6'-12'                      | TO BE SELECTED BY ARCH. |                  | 1/8" GAP                 |                                            |
| WD-2A                      | WOOD         | KEBONY        | TO BE SELECTED               | CLADDING                                    | 2x2                                      | TO BE SELECTED BY ARCH. |                  |                          |                                            |
| R-1A                       | TPO          | N/A           | TO BE SELECTED               | ROOF, FULLY ADHERED MEMBRANE                | N/A                                      | WHITE                   | N/A              | REF. MANUF.              |                                            |
| MA-1A                      | MASONRY      |               | TO BE SELECTED               | WALL                                        | 4" VENEER, STACK                         | TO BE SELECTED          | TBD              | 1/4", RAKED, COLOR: BUFF |                                            |













## **TOWN OF LAKEWOOD VILLAGE**

### **ORDINANCE NO. 21-XX**

**AN ORDINANCE OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS FIXING AND LEVYING TAXES FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2021 AND ENDING SEPTEMBER 30, 2022 AT A RATE OF \$0.45 PER ONE HUNDRED DOLLARS (\$100.00) ASSESSED VALUATION OF ALL TAXABLE PROPERTY WITHIN THE CORPORATE LIMITS OF THE TOWN AS OF JANUARY 1, 2021; DIRECTING THE ASSESSMENT THEREOF TO PROVIDE REVENUES FOR THE PAYMENT OF CURRENT OPERATIONS AND MAINTENANCE EXPENSES; PROVIDING FOR DUE AND DELINQUENT DATES TOGETHER WITH PENALTIES AND INTEREST; ADOPTING AN EXEMPTION FROM THE TAX HEREIN LEVIED FOR PERSONS 65 YEARS OF AGE OR OLDER IN THE AMOUNT OF \$25,000.00 OF THE APPRAISED VALUE OF THEIR RESIDENCE HOMESTEAD; REPEALING CONFLICTING ORDINANCES; PROVIDING A SAVINGS CLAUSE AND SEVERABILITY CLAUSE; AND DECLARING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Lakewood Village, Texas (the “Town”) hereby finds that the tax for the fiscal year beginning on October 1, 2021 and ending September 30, 2022 hereinafter levied for current expenses of the Town and the general improvements of the Town and its property, must be levied to provide the revenue requirements of the budget for the ensuing year; and

**WHEREAS**, the Town Council has approved, by a separate ordinance, adopted on the 12th of August, 2020 the budget for the fiscal year beginning October 1, 2021 and ending September 30, 2022; and

**WHEREAS**, all statutory and constitutional requirements concerning the levying and assessments of ad valorem taxes have been approved and completed in due and correct time.

**NOW, THEREFORE BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS:**

Section 1. That there be and is hereby levied and ordered to be assessed and collected for the fiscal year beginning October 1, 2021 and ending September 30, 2022, on all taxable property, real, personal, and mixed, situated within the corporate limits of the Town of Lakewood Village, Texas, and not exempted by the Constitution of the State, valid State laws or this ordinance, a total tax of \$0.45 on each One Hundred Dollars (\$100.00) assessed value of taxable property, which shall be apportioned and distributed as follows : For the purpose of the payment of defraying the maintenance and operation expenses of the Town, a tax of \$0.25 on each One Hundred Dollars (\$100.00) assessed value of all taxable property, and for the purpose of the payment of defraying debt servicing expenses of the Town, a tax of \$0.20 on each One Hundred Dollars (\$100.00) assessed value of all taxable property.

Section 2. That all ad valorem taxes shall become due and payable on October 1, 2021, and all ad valorem taxes shall be delinquent after January 31, 2022. There shall be no discount for



payment of taxes on or prior to January 31, 2022. A delinquent tax shall incur all penalty and interest authorized by law.

Section 3. Taxes shall be payable in Denton County, Texas at the office of the Denton County Tax Collector. The Town shall have available all rights and remedies provided by law for the enforcement of the collection of taxes levied under this ordinance.

Section 4. All delinquent taxes shall bear interest as provided by Law, in addition to penalties.

Section 5. There is hereby adopted and established an exemption from the tax levied by this ordinance for persons who are 65 years of age or older in the amount of \$25,000.00 of the appraised value of their residence homestead.

Section 6. That any and all ordinances, resolutions, rules, regulations, policies or provisions in conflict with the provisions of this ordinance are hereby repealed and rescinded to the extent of the conflict herewith.

Section 7. If any section, paragraph, sentence, clause, phrase or word in this ordinance, or application thereof by any person or circumstances, is held invalid by any Court of competent jurisdiction, such holdings shall not affect the validity of the remaining portions and shall remain in full force and effect.

Section 8. The fact that it is necessary that this ordinance be enacted in order to authorize the collection of ad valorem taxes for the fiscal year beginning October 1, 2021, and ending September 30, 2022, this ordinance shall take effect from and after its passage as the law in such cases provides.

DULY PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS, on this XX<sup>th</sup> day of September 2021.

---

Dr. Mark E. Vargus  
Mayor

**ATTESTED:**

---

Linda Ruth, TRMC, CMC  
Town Administrator/Town Secretary





**RESOLUTION NO. 21-\_\_**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF  
LAKEWOOD VILLAGE, TEXAS, DECLARING EXPECTATION TO  
REIMBURSE EXPENDITURES WITH PROCEEDS OF FUTURE DEBT**

**WHEREAS**, the Town of Lakewood Village, Texas (the “Issuer”) intends to issue debt for improvements and extensions to the Issuer’s waterworks and sewer system, including the acquisition of land and rights-of-way therefor (the “Project”) and further intends to make certain capital expenditures with respect to the Project and currently desires and expects to reimburse the capital expenditures with proceeds of such debt;

**WHEREAS**, under Treas. Reg. § 1.150-2 (the “Regulation”), to fund such reimbursement with proceeds of tax-exempt obligations, the Issuer must declare its expectation to make such reimbursement; and

**WHEREAS**, the Issuer desires to preserve its ability to reimburse the capital expenditures with proceeds of tax-exempt obligations.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE ISSUER THAT** the Issuer reasonably expects to reimburse capital expenditures with respect to the Project with proceeds of debt hereafter to be incurred by the Issuer, and that this resolution shall constitute a declaration of official intent under the Regulation. The maximum principal amount of obligations expected to be issued for the Project is \$12,000,000.

PASSED, APPROVED, AND RESOLVED this 13<sup>th</sup> day of May 2021.

APPROVED:

\_\_\_\_\_  
Dr. Mark E. Vargus,  
Mayor

ATTEST:

\_\_\_\_\_  
Linda Ruth, TRMC, CMC  
Town Administrator/Town Secretary





# **TOWN OF LAKEWOOD VILLAGE**

## **ORDINANCE 21-XX**

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS, REQUIRING RECERTIFICATION OF OCCUPANCY INSPECTION UPON CHANGES IN WATER BILLING RESPONSIBLE PARTIES FOR PROPERTIES INSIDE THE CORPORATE LIMITS OF THE TOWN OF LAKEWOOD VILLAGE; REQUIRING A TCEQ CUSTOMER SERVICE INSPECTION FOR PROPERTIES INSIDE THE CORPORATE LIMITS OF THE TOWN OF LAKEWOOD VILLAGE AND PROPERTIES LOCATED IN THE EXTRA TERRITORIAL JURISDICTION OF THE TOWN OF LAKEWOOD VILLAGE WHICH RECEIVE WATER SERVICE FROM THE TOWN OF LAKEWOOD VILLAGE; PROVIDING FOR THE COLLECTION OF FEES; PROVIDING A SEVERABILITY CLAUSE; AND AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Lakewood Village (“the Town”) finds there are a growing number of residential rental properties, homes owned on a temporary basis, and unoccupied dwellings;

**WHEREAS**, inadequate home maintenance directly affects the health, life, safety and welfare of the citizens of the Town and Extra Territorial Jurisdiction (ETJ) and negatively impacts the health and vitality of the surrounding neighborhood, Town, and ETJ as a whole;

**WHEREAS**, it is the responsibility of the Town to protect the safety of new residents and ensure that existing structures are in compliance with relevant property maintenance codes;

**WHEREAS**, Title 30 Texas Administrative Code, Chapter 290, Rule 290.46 requires water providers to perform customer service inspections (CSI) where the water provider has reason to believe that cross-connections or other potential contaminant hazards may exist;

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS, THAT:**

### **Section 1: Findings**

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

### **Section 2: Repeal**

CO / CSI Ordinance 18-05 is hereby repealed in its entirety.



### **Section 3: Penalty Clause**

#### **A. Violation**

A person who violates any provision of this chapter is guilty of separate offenses for each day during which the violation is continued after notification. Neither allegation nor evidence of a culpable mental state is required for the proof of an offense defined by this ordinance.

#### **B. Fine**

Each offense is punishable by a fine of not more than two-thousand (\$2,000) nor less than two-hundred (\$200). The minimum fine established in this paragraph shall be doubled for the second conviction of the same offense within any 24-month period and tripled for the third and subsequent convictions of the same offense within any 24-month period. At no time shall the minimum fine exceed the maximum fine established in this paragraph.

### **Section 4: Legal Rights**

The penal provision imposed under this Ordinance shall not preclude the Town of Lakewood Village from filing suit to enjoin the violation. The Town of Lakewood Village retains all legal rights and remedies available to it pursuant to local, state, and federal law.

### **Section 5: Severability**

#### **A. Unconstitutional or Invalid Section**

Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect.

#### **B. Independent Sections**

The Town hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and/or phrases be declared unconstitutional or invalid.

### **Section 6: Estoppel / Waiver**

The failure of the Town to enforce any term or condition of this Ordinance shall not constitute a waiver or estoppel or any subsequent violation of this Ordinance.

### **Section 7: Effective Date**

The amendments to this Ordinance shall become effective from and after its date of passage and publication as provided by law.



**PASSED AND APPROVED** by the Town Council of the Town of Lakewood Village, Texas  
this the 9th day of September, 2021

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Dr. Mark E. Vargus  
MAYOR

**ATTESTED:**

---

Linda Ruth, TRMC, CMC  
Town Administrator/Town Secretary





# **CERTIFICATE OF OCCUPANCY / CUSTOMER SERVICE INSPECTION ORDINANCE**

**Amended: September 9, 2021**  
**Adopted: September 13th, 2018**



## **SECTION 1: PROVISIONS**

### **1.1. PURPOSE**

A certificate of occupancy is evidence that the home complies substantially with the local codes as adopted by the Town of Lakewood Village and is safe to occupy.

### **1.2. APPLICATION**

#### **1.2.1. Certification of Occupancy**

The Town shall not provide municipal services (water, wastewater, or solid waste), nor shall the Town release electrical power, nor shall the town permit the occupancy of said residence until a Certification of Occupancy (CO) inspection has been performed and passed.

#### **1.2.2. Customer Service Inspection**

The Town shall not provide municipal services, nor shall the Town release electrical power, nor shall the Town permit the occupancy of said residence until a CSI inspection has been performed and passed. The CSI inspection report is to be retained by the Town for at least ten (10) years and is to be available for inspection by TCEQ (30 TAC Chapter 290.46(i)).

#### **1.2.3. Triggers**

- 1) A new home is constructed and occupied;
- 2) An application for utilities is received for an existing home; or
- 3) Reconnection of utilities for existing accounts that have not been in "good standing" for a period of six (6) months or more.

### **1.3. SCOPE**

This ordinance applies to all single and multi-family homes within the Town of Lakewood Village and the utility service area of the ETJ.

#### **Exceptions**

An inspection is not required if the change in the responsible billing party arises due to any of the following:

- 1) New home construction (builder to owner transfer);
- 2) Homes where a passing CO/CSI inspection has been obtained within 90 days prior to the current change in ownership or responsible party for a utility account; or
- 3) The new responsible party is a member of the current household.

### **1.4. CERTIFICATION OF OCCUPANCY INSPECTION**

The inspection shall be performed by the building official or his/her authorized designee. Areas to be covered under the inspection include general health and safety issues and include, but are not limited to:



- ☐ Electrical Hazards (exposed conductors, electrical service panels, GFCI protection in all wet areas, primary cold water ground and secondary grounding);
- ☐ Existing plumbing (visible leaks, fixtures, proper air gaps, vacuum breakers at all hose bibbs);
- ☐ Interior structure conditions (walls, ceiling);
- ☐ Smoke detectors (located in all bedrooms and adjacent areas);
- ☐ Foundation conditions (cracks/breaks);
- ☐ Stairs, hand / guardrail condition;
- ☐ Exterior surfaces (rotted);
- ☐ Exits from home (including operable bedroom windows);
- ☐ Heating equipment (water heater/furnace);
- ☐ A/C equipment condition (in proper working order);
- ☐ Adequate ventilation in bathrooms and laundry rooms (windows or exhaust fans);
- ☐ Garbage and debris (outside);
- ☐ Accessory buildings (structural condition, exterior surface rotted);
- ☐ Fence condition (rotted, upright position);
- ☐ Driveway / sidewalk hazards (cracks, breaks with more than three (3) inches of deflection and cracks in excess of three (3) inches); and
- ☐ Address posted minimum size four (4) inches of contrasting color.

#### 1.5. CUSTOMER SERVICE INSPECTION

The inspection is to be performed by the building official or his/her authorized designee with a valid TCEQ CSI license or T.S.B.P.E. W.S.P. endorsement. The inspection shall assess whether the potential for contamination of the Town water supply exists. As per 30 TAC Chapter 290, the inspection should, at a minimum, ensure that neither cross-connections nor unacceptable plumbing practices are present, and identify and prevent potential contaminant hazards and illegal lead materials. The inspector must use the TCEQ approved CSI form (30 TAC 290.47(d)).

#### 1.6. FEES

The fees associated with the required inspections and re-inspections are established in the Town's Consolidated Fee Ordinance.

#### 1.7. TEMPORARY CERTIFICATE OF OCCUPANCY (TCO) - NEW HOMES

The granting of a Temporary Certificate of Occupancy (TCO) is at the discretion of the Town **and is for new home construction only**. Upon a request from a property owner, the building official is authorized to grant a Temporary Certificate of Occupancy in order to provide utilities which will allow the property owner to **occupy the house while completing the final punch-list. ~~perform repairs~~**. The granting of TCO is subject to the following conditions:

1. A signed notarized agreement between the Town and the owner acknowledging:
  - a. The expiration date of the TCO,
  - b. The items to be corrected,



- c. An acknowledgement that utilities will be discontinued at the expiration of the TCO unless the CO/CSI inspection has been passed,

~~d. If applicable, the receipt and terms of the deposit~~

2. ~~If the TCO period exceeds seven days, the payment of a refundable administrative safety deposit of one thousand dollars (\$1,000) will be required. If the CO/CSI inspection is not passed prior to the expiration of the TCO the deposit will be retained the Town to the pay for administrative costs, legal fees, and utility disconnect/reconnect fees.~~

The denial of a TCO by the Building Official can be appealed to the Town Council.

#### 1.8. TEMPORARY UTILITY SERVICES AGREEMENT - REMODELS

If a new owner wishes to postpone the CO/CSI inspection to perform repairs/remodel, the Town may enter into a temporary utility services agreement. The terms of the agreement are:

1. The owner must complete a utility application and pay the deposit;
2. The dwelling cannot be occupied; no furniture can be placed inside the house; occupation of the house will be grounds for immediate termination of utility service.
3. The owner must submit a scope of work and obtain permits prior to beginning construction; based on the scope of work the building official will determine the expiration date of the agreement, however, the term cannot exceed 90 days.
4. The owner agrees that the Town's utility services can be disconnected if a CO/CSI inspection has not been passed by the expiration date. The Town building official can extend the agreement for an additional 90 days, at his discretion, based on the level of progress.

### End of Exhibit A

#### Adoption and Summary of Amendments

| Ordinance Number | Date               | Summary                                                                                                                             |
|------------------|--------------------|-------------------------------------------------------------------------------------------------------------------------------------|
| 21-XX            | September 12, 2021 | <ul style="list-style-type: none"> <li>• Clarified Temporary C/O terms</li> <li>• Added Temporary Utility Services terms</li> </ul> |
| 18-05            | September 13, 2018 | <ul style="list-style-type: none"> <li>• Added Section 1.7</li> <li>• Repealed 16-02</li> </ul>                                     |



## **RESOLUTION NO. 21-XX**

### **A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS AUTHORIZING THE MAYOR TO EXECUTE THE DEVELOPMENT AGREEMENT RELATED TO LAKEWOOD VILLAGE PUBLIC IMPROVEMENT DISTRICT NO. 1; AND RESOLVING OTHER MATTERS RELATED THERETO.**

**WHEREAS**, on August 12, 2021, the Town Council (the “Town Council”) of the Town of Lakewood Village, Texas (the “Town”) adopted (i) Resolution No. 21-05 creating the Lakewood Village Public Improvement District No. 1 (the “Capital District”) and (ii) Resolution No. 21-06 creating the Lakewood Village Operation and Maintenance Public Improvement District No. 1 (the “O&M District” and, together with the Capital District, the “Districts”) in accordance with Chapter 372, Texas Local Government Code, as amended (the “Act”); and

**WHEREAS**, the City desires to approve the “Development Agreement” related to the Districts (the “Development Agreement”) ; and

**WHEREAS**, the Development Agreement defines the terms and conditions pursuant to which the property located within the Districts shall be developed by the developer of the property and describes certain obligations and agreements of the developer and the Town in connection with the development of the Districts.

**NOW, THEREFORE**, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS:

**Section 1.** The findings set forth in the recitals of this Resolution are found to be true and correct and are incorporated as a part of this Resolution for all purposes.

**Section 2.** The form, terms and provisions of the Development Agreement, in a form substantially similar to the attached **Exhibit A**, are hereby authorized and approved with such changes as may be necessary or desirable to carry out the intent of this Resolution and as approved by the Mayor of the Town, such approval to be evidenced by the execution and delivery of the Development



Agreement by the Mayor of the Town. The Mayor of the Town is hereby authorized and directed to execute and deliver the Development Agreement.

**Section 3.** This Resolution shall take effect immediately from and after its passage and publication as required by law.

*[Remainder of Page Intentionally Left Blank]*



PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS, THIS THE 21ST DAY OF SEPTEMBER, 2021.

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Dr. Mark E. Vargus  
Mayor

ATTESTED:

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Linda Ruth, TRMC, CMC  
Town Administrator/Town Secretary



Exhibit A to Resolution  
Development Agreement